

Planning Policy Manual – Part 2

**Planning Policies and Design Guidelines for Normalised
Redevelopment Areas**

Section 2.12
East Perth – Area 12
North Cove



Version #	Decision Reference	Synopsis
1	11 March 2008	Adopted
2	17 March 2015	Amended
3	11 April 2017	Amended

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1.0 APPLICATION

The North Cove subdivision is within the Brown Street Precinct (Precinct EP9), as defined in the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas) (herein called ‘the Scheme’). These Guidelines apply to Lots 1-9, 11-15, 17, 27, 29-33, 65- 69, 71-76, 78, 79, 85-90 inclusive as shown in Figure 1.

2.0 RELATIONSHIP TO PLANNING SCHEME AND PLANNING POLICIES

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the Claisebrook Village Project Area, Precinct EP9: Brown Street, and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

The Scheme identifies Preferred, Contemplated and Prohibited uses for Precinct EP9: Brown Street and stipulates maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

3.0 ABOUT THESE GUIDELINES

These guidelines describe the character sought for this area and the design elements required to achieve the required character and form, with particular emphasis on the form and character required for the Lots fronting Claisebrook Cove. It should be noted that the guidelines relating to these Lots will be strictly enforced and the local government may refuse Development Approval for developments not considered to be in keeping with the intent of the guidelines.

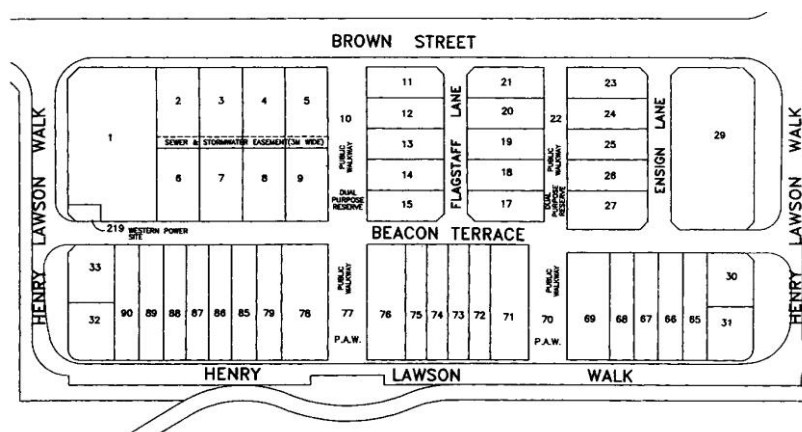


Figure 1 - North Cove Subdivision.

4.0 DEVELOPMENT POTENTIAL

The following number of dwellings is permitted on each site:

- Lots 1 and 29 - 14 dwellings on each site.
- Lots 2-9, 11-15, 17-21, 23-27, 30-33, 65-69, 71, 76, 78, 79, 85-90 inclusive - One dwelling each.

5.0 SETBACKS

- Lots 1 and 29

3m to all boundaries, with minor projections of 4m x 2m deep acceptable as shown on Figure 2. No major window openings closer than 6m to boundary may face directly onto another Lot.

BOUNDARY	MIN	MAX
• Lots 2-9, 11-15, 17-21, 23-27 inclusive		
Brown Street	Nil	3m
Beacon Terrace	Nil	3m
Side	Nil	-
Public Walkway (PAW and Dual Purpose Reserve)	Nil	3m
Ensign Lane and Flagstaff Lane	Nil	Nil
• Lots 30-33, 65-69, 71-76, 78, 79, 85-90 inclusive		
Henry Lawson Walk (south leg)	4m	4m
Henry Lawson Walk (east and west legs)	Nil	1.5m
Beacon Terrace (All Lots except 30,33)	Nil	Nil
Beacon Terrace (Lots 30 and 33 only)	Nil	Nil
Side	Nil	Nil
PAW	Nil	(Refer figure 3)

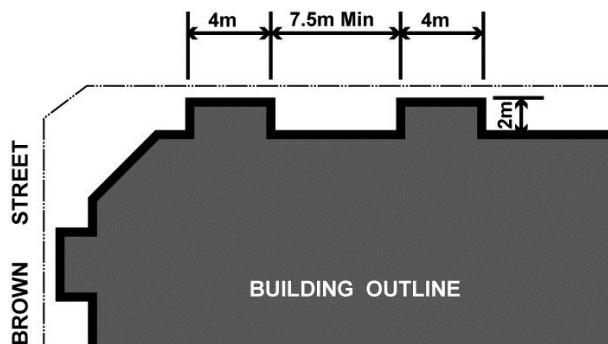
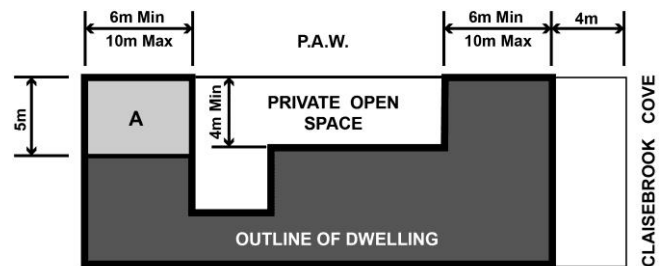


Figure 2 - Permitted Intrusion into setback lots 1 & 29

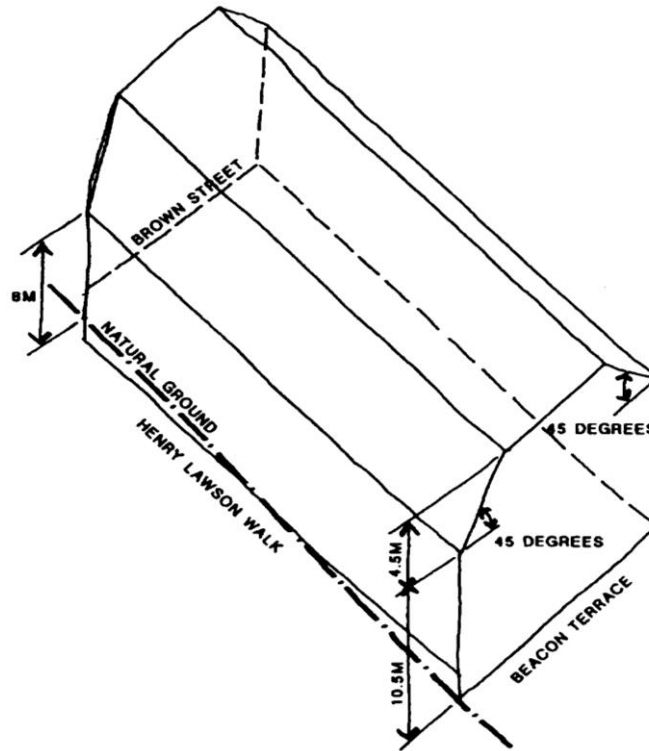


The area indicated by 'A' may
Be built in the form of a screen wall
Conforming to Figure 4 Type 'B'

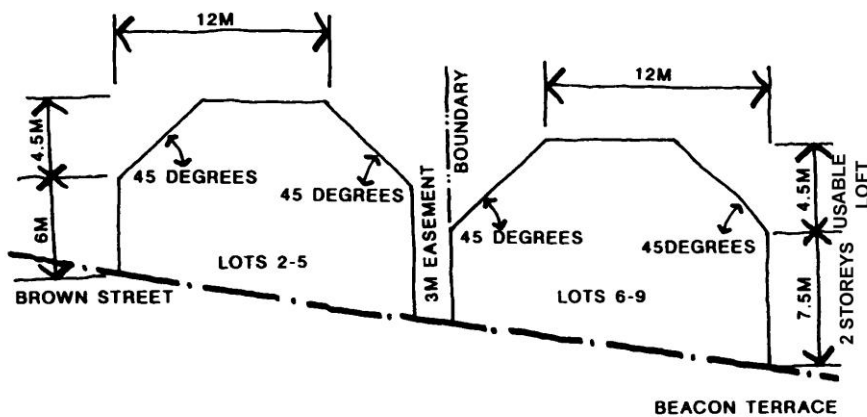
Figure 3 - Private open Space Location
Lots 69, 71, 76 & 78 (not to scale)

6.0 BUILDING HEIGHT

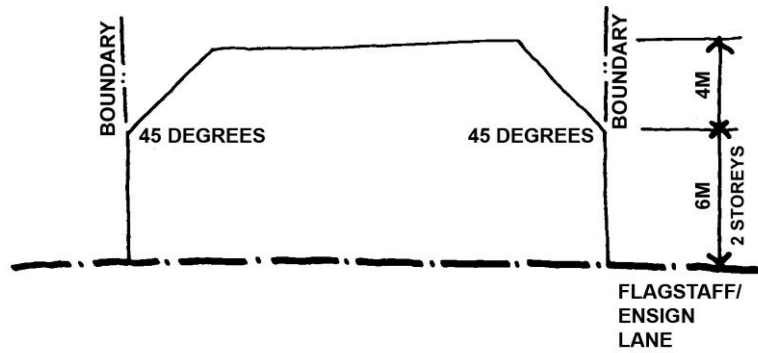
- Lots 1 and 29 - Refer to Building Envelope A
- Lots 2-9 inclusive - Refer to Building Envelope B
- Lots 11-15, 17-21, 23-27 inclusive - Refer to Building Envelope C
- Lots 30-33 - Refer to Building Envelope D
- Lots 65-69, 71-76, 78, 79, 85-90 inclusive - Refer to Building Envelope E



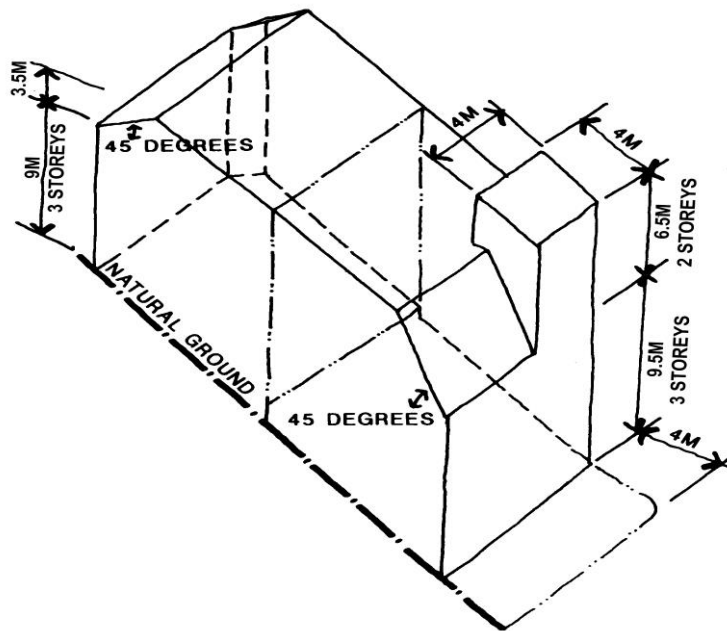
Envelope A - Building Height: - Lots 1 and 29



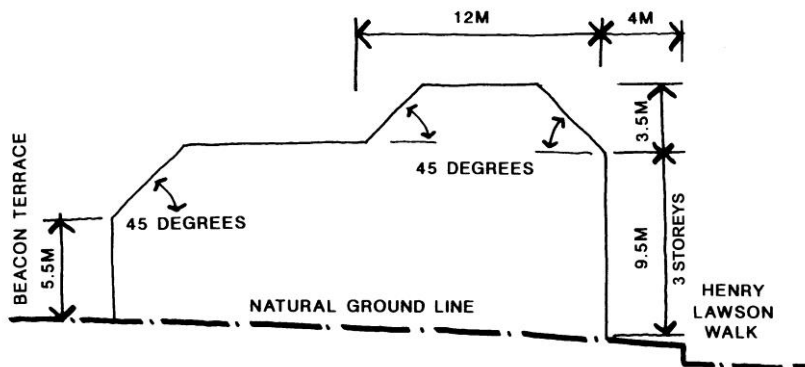
Envelope B - Building Height: - Lots 2-9 inclusive



Envelope C - Building Height: - Lots 11-15, 17-21, 23-27 inclusive



Envelope D - Building Height: - Lots 30-33



Envelope E - Building Height: - Lots 65-69, 71-76, 78, 79, 85-90 inclusive

7.0 ACCESS AND PARKING

- **Lots 1 and 29**

Major pedestrian access is to be from Henry Lawson Walk. Vehicle access for Lot 1 is to be from Beacon Terrace.

Vehicle access for Lot 29 is to be from Beacon Terrace or Ensign Lane.

- **Lots 2-5**

Pedestrian access is to be from, and the building is to 'front' Brown Street. Vehicle access is to be from Brown Street with garage doors at boundary.

- **Lots 6-9**

Pedestrian access is to be from, and the building is to 'front' Beacon Terrace. Vehicle access is to be from Beacon Terrace with garage doors at boundary.

- **Lots 11-27**

Pedestrian access is to be from, and the building is to 'front' the PAW.

Vehicle access is to be from Ensign/Flagstaff Lanes with garage doors at boundary.

- **Lots 3-33**

Pedestrian access is to be from Henry Lawson Walk.

Vehicle access is to be from Beacon Terrace (Lots 30 and 33). Vehicle access is to be from Henry Lawson Walk (Lots 31 and 32).

- **Lots 65-69, 71-76, 78, 79, 85-90 inclusive**

Pedestrian access is to be from Henry Lawson Walk. Vehicle access is to be from Beacon Terrace.

Car parking must be adequately visually screened from the street.

8.0 OPEN SPACE

- All private open space is to be of usable area and dimension. All dwellings other than apartments must have access to ground level private open space with a minimum dimension of 4m, in addition to any required front setback.
- The provision of additional private open space is encouraged. This may be provided as balcony, deck or roof terrace.
- Where possible private open space is to be north facing and directly accessible from a living area within the dwelling.
- Roof terraces greater than 4m x 4m in dimension must have a pitched roof or shade structure covering the majority of the terrace, in keeping with the scale and elevation of the dwelling, to add visual interest, reduce its apparent scale and assist with climate control.
- Juliette balconies are permitted but will not be included in private open space calculations.
- All private open space must be designed to minimise overlooking of adjoining properties, provide privacy to users and permit adjoining properties to share the available views.

9.0 BUILDING DESIGN

- Generally building heights are to be two to three storey varying from 5.5m to 9.5m plus usable roof space (4.5m max), in the form of loft, attic or roof terrace (see building envelopes for approximate height in metres). Basement structures are not permitted, with the exception of Lots 1 and 29 where basement or undercroft parking is encouraged.

9.1 Privacy

A high standard of acoustic and visual privacy is expected with particular attention given to:

- construction materials and techniques to reduce noise transmission between dwellings;
- site and dwelling layout to separate potentially conflicting uses;
- balcony and window location and design to avoid overlooking neighbouring windows and private open space;
- the creation of a safe environment by avoiding the formation of 'blind' spaces which can not be seen from inside the most used rooms.

9.2 Balconies

- The inclusion of balconies to take advantage of views to the water and parkland is encouraged. Balconies can also assist the composition, articulation and visual interest of buildings. Balconies, should be of usable dimensions with a minimum of 1.5m and wherever possible be enhanced by the provision of shading from summer sun.
- The use of balconies, decks and roof terraces as additional private open space is encouraged.

9.3 Roof Form

- The majority of the roof pitch is to be between 30-45 degrees where it is visible from public areas, streets and mews. A shallower pitch is acceptable for verandahs and canopies, small areas of skillion roofs, and small areas of flat roofs where screened behind parapets.
- Use of dormer/attic windows, verandahs and awnings is encouraged in order to reduce the apparent scale of development, add visual interest and assist with climate control.

9.4 Articulation and Detailing

- Building design is to enhance individual dwelling identity for all housing types.
- Dwellings must present a 'front' to public spaces. The plan layout should enable casual surveillance of the Lot and surrounds from habitable rooms and balconies.
- Buildings are to provide a modulated street frontage with an articulated facade and use of elements such as verandahs, balconies, awnings, dormers and window projections to provide visual interest and establish a fine grained scale to development.
- Detailing is generally to provide visual richness and variety, interest and identity and assist in reducing the visual bulk of building mass.
- Corner buildings are to address both frontages, with special treatment encouraged to mark corners and link streets, for example additional floor height, distinct roof form, articulation of corner wall elements, variation in materials and colours, special balcony treatments.
- Corner sites tend to be the most prominent. Buildings situated at the intersections of roads/lanes/pedestrian accessways play a special role in defining the quality of the adjoining public spaces and are often landmarks which assist people's understanding of the local environment. Extra height at corners through the use of decorative parapets, tower elements

or similar features helps to give prominence to these buildings and is therefore encouraged. In approved instances a 'tower element' may take the form of an additional storey if the local government is satisfied that it contributes to the landmark quality of the building.

- Garages (particularly doors), carports and parking areas are to be detailed to reduce their visual impact and add interest at the pedestrian level.

9.5 Maximum and Minimum Structural Ground Floor Level

- Lots 11-15, 17-21, 23-27
- The maximum structural ground floor level (SGFL) may not exceed the mean parking lane levels (measured by averaging the surveyed reduced levels of the rear corners of the Lot) plus 100mm. The minimum SGFL of a particular Lot may not be lower than the maximum SGFL for its immediate downhill neighbouring Lot.
- Each dwelling must be designed to retain the earth within its site boundaries and must not cause adjoining owners to compromise the design of their dwellings such that retaining structure is required in excess of what would otherwise be required for them to achieve the maximum and minimum SGFL for their Lot.
- The local government will assess variations to this requirement where it can be demonstrated that improved amenity may be provided to the applicant and adjoining owners by an alternative solution.
- Vehicle parking transition ramps as required must be accommodated within the property boundary.

9.6 Geotechnical Site Conditions

- Owners are advised that geotechnical briefing notes are available for inspection at the local government's offices if required, however it is the responsibility of each owner to ensure that the design of their dwelling is suitable for the site conditions of their lot.

10.0 MATERIALS AND COLOURS

10.1 Walls and Windows

- Walls are to be red or terracotta coloured brick, limestone, similarly coloured masonry, or rendered walls.
- Render may be paint finished in ochres, reds and traditional wash colours.
- Timber and lightweight cladding, paint finished or stained, is acceptable on upper floors and as a minor element at ground floor level.
- The well considered use of more than one material and use of more than one finish is encouraged as it adds variety and reduces perceived building bulk. Finishes that separate ground and upper floors or parts of upper floors are encouraged.
- Reflective glass or dark tinted glass is not permitted.

10.2 Colour

- Colour schemes involving well considered colours are encouraged as distinct from predominantly monochrome colour schemes.
- Trim colours which enhance and complement the wall and roof colours are preferred.
- The local government retains the right of final decision on the acceptability of a colour scheme.

10.3 Roofs and Shade Structure Covering

- Roof materials are to be selected from within the following colour range: tiles in autumn or terracotta tones; shingles in slate grey; corrugated metal decking in Colourbond Off White, Merino, Wheat, Birch Grey, Saltbush, Beige, Homestead, Mist Green or Gull Grey.
- A Zinalume finish is acceptable where it can be demonstrated that glare and reflectivity will not be a problem to neighbours and surrounding activities.
- Shade cloth or profiled clear acrylic roof sheeting is not permitted in locations visible from the street.

11.0 BLANK WALLS

- Blank walls abutting public spaces are to be kept to a minimum. Walls are to be detailed to provide visual interest and pedestrian scale.

12.0 LANDSCAPE

- In order to increase on-site water absorption and reduce run-off, permeable segmental paving is to be used for all hard surfaces.
- Where paving inside a Lot abuts and is visible from paved surfaces in streets or mews, the new paving should be coordinated in colour, texture and scale with the surface in the public area.
- Select suitable trees such that the mature tree size, form and scale will relate to, but not overwhelm the building mass.
- A detailed landscape proposal plan is to be submitted with each Building license application.
- Owners should note that trees used within public spaces such as the PAWS are likely to overhang property boundaries once they are mature. The local government has advised that it will be responsible for cleaning leaves etc which fall within public areas only.

13.0 SERVICES

- A service easement area is defined for most lots and all meters and connections are located within it. All such fittings shall be integrated into the overall landscape and building design.
- All piped and wired services, air conditioners, clothes drying areas and hot water storage tanks are to be concealed from street and public area view. Solar panels and solar water heaters may be visible where they are in the same plane as the roof and there is no alternative location that can provide a similar level of solar efficiency.
- A Stormwater Drainage Plan is to be provided with all building license applications.
- All Stormwater is to be discharged to the Stormwater connection provided on site.

14.0 RETAINING WALLS AND FENCES

- Retaining walls to be a maximum of 1.2m high above finished ground level, with a height not exceeding 0.6m preferred. No retaining walls are permitted on the Henry Lawson Walk boundary. Designs which minimise the height of retaining walls for dwellings are sought, particularly adjacent to PAW's where a close relationship between internal and external finished levels is desirable.
- Retaining walls and fences are to be limestone detailed to match the existing public walling to the edge of Henry Lawson Walk. A standard fencing style of capped limestone piers to 2m high, with a fence base course of limestone and infill wrought iron or metal railings to maximum 1.8m high is to be used. Refer also Figure 4.
- Solid limestone panels of fencing are permitted adjacent to the nominated area of private open space. In such cases, the extent of solid fencing should not exceed 50% of the lot width for that particular dwelling.

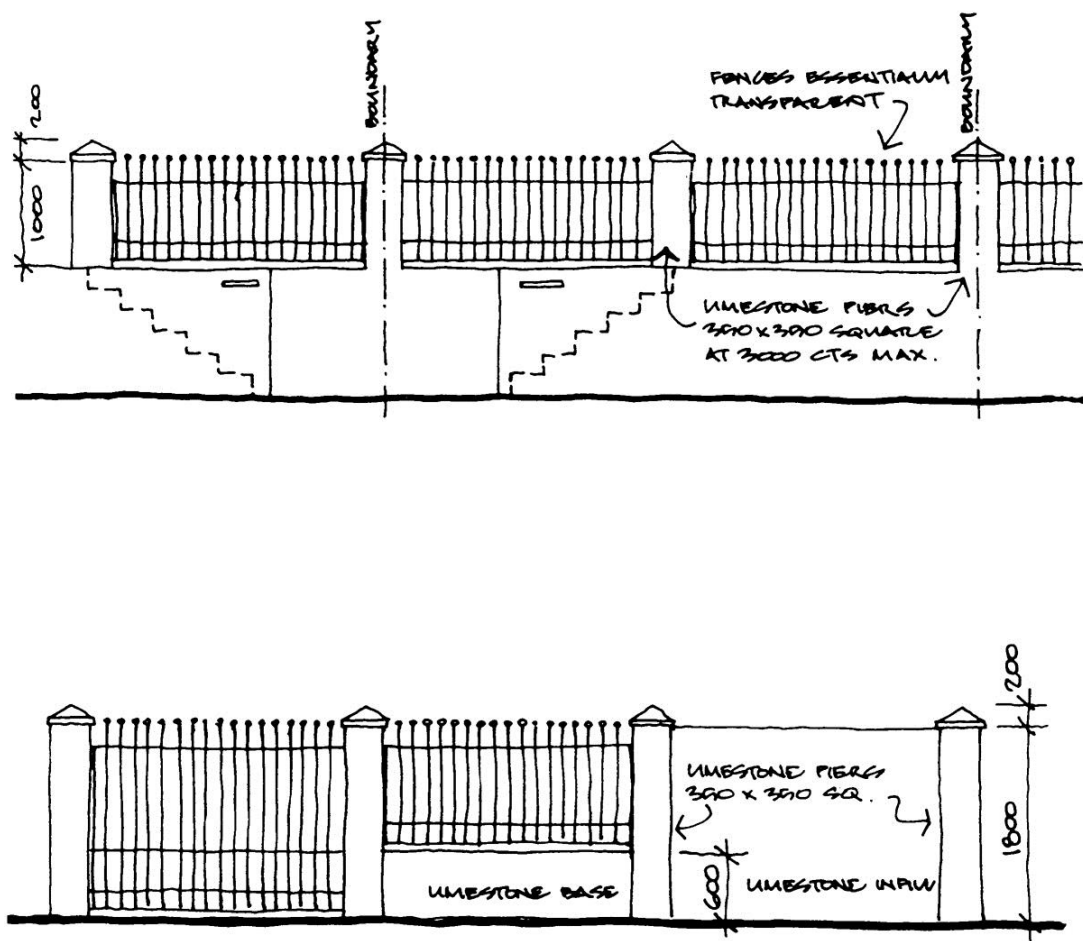


Figure 4:- Retaining Walls and Fences

15.0 CROSSOVERS

- Vehicle crossovers are to be constructed to the local government's specifications at the developer's expense.

16.0 SPECIAL REQUIREMENTS FOR SPECIFIC LOTS

- **Lots 69, 71, 76 and 78**

The design of buildings on these Lots must address the PAW and private open space must be situated on the PAW side of the block. The building form must span the full width of the block at Henry Lawson Walk and address the corner as shown on Figure 3 to provide a book end for the Lots between the PAW's.

- **Lots 31, 32, 65-69 inclusive, 71-76 inclusive and 78-90 inclusive**

The south elevation to buildings on these Lots is seen to be important and must be carefully considered. The design must follow the principles outlined on Figure 5 with particular respect to the following:

(1) Heights of roof ridges, pitching points, gutters, eaves, parapets and floor levels

The heights and levels of these items must either match the adjoining property or vary by minimum of 600mm.

(2) Floor to floor height

The minimum ground floor to first floor height is 3m. A minimum of two storeys is required.

(3) Roofs in same plane to match

Roofs sharing the same pitching point as the adjoining property and in the same plane should match the roof pitch of the adjoining property.

(4) Balconies and decks

Balconies and decks may protrude into the front setback by 1m but, if protruded, must be 2m deep. If this option is adopted, the face of the building may be located 1m behind the setback line.

(5) Window Opening Proportion

Overall window opening proportion must be vertical or square. Horizontally proportioned window openings are acceptable only if they are integral to the elevation and a minor element of the overall composition of the elevation.

(6) Chimneys

Chimneys are seen to be important elements in the overall streetscape and are encouraged. Chimneys should have cowls or contain some shape and form to the chimney capping.

(7) Window shutters

Door and window shutters if fitted must be operable.

(8) Balustrades

Aluminium lace or cast iron lace is not permitted.

(9) Fences

Fences along Henry Lawson Walk may not exceed 1m in height and must match the detail shown on Figure 4 attached.

- Lots 1 and 29 - Multi residential sites
 - Dwellings must be designed to suit a variety of household types.
 - Building height is not to exceed three storeys plus loft and undercroft parking, with a minimum of two storeys required.
 - Unit design which maximises the view potential for all dwellings is encouraged.
 - The design and architectural style of the buildings must be cognisant of the Australian climate.
- Lots 12, 14, 24, 26, 65, 68, 72, 75, 79, 87 and 90

These Lots are to accommodate a street light fitting to be installed by the local government at a height of 3m above pavement level and attached to the wall of the dwelling/structure on the boundary of the roadway being lit. These fittings are to be mounted and located in a position to be determined by the local government to provide street lighting for Ensign Lane, Flagstaff Lane and Beacon Terrace.