

Planning Policy Manual – Part 2

**Planning Policies and Design Guidelines for Normalised
Redevelopment Areas**

Section 2.27
East Perth – Area 27
Constitution Hill South



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1.0 APPLICATION

These guidelines apply to land bounded by Constitution Street, Arden Street, Nile Street and Trafalgar Road. This area is within the Constitution Street Precinct (Precinct EP2), as defined in the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas) (herein called ‘the Scheme’). These guidelines apply to that area as shown in Figure 1.

2.0 CONTEXT

As the highest land adjacent to the river, Precinct EP2 offers the best views, contours and northerly aspect for residential development within the Scheme Area. At the southern end of the Precinct, Nile Street enjoys uninterrupted views across Gloucester Park and the river to the south and south-east. A hotel currently dominates uses within the southern Nile Street block.

The adjacent Gloucester Park may remain in its present form, however, redevelopment may be undertaken in the short or medium term future.

The primary objectives of these guidelines are to encourage viable development that complements the urban form and prominent location of the Waterloo Precinct; and to encourage development of land adjacent to the former East Perth Cemetery to frame a continuous built up frontage.

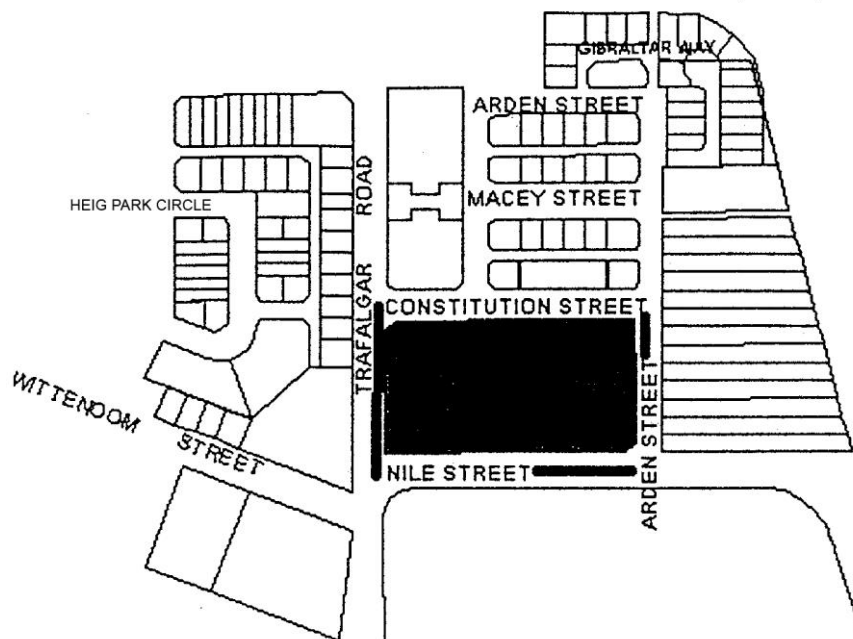


Figure 1:- Constitution Street

2.1 General Site Characteristics and Requirements

The site is characterised by a number of occupied single residential lots, a hotel on Nile Street and medium density residential apartment buildings including those recently developed along Trafalgar Road.

Development which compliments the residential diversity and built form of Constitution Hill will be sought. Buildings in the precinct are generally two to four storeys in height.

Older single residential buildings are generally one to two storeys, with high ceilings and pitched roofs. A mix of materials is present. Materials in new development should primarily be of a solid construction nature such as brickwork, stone masonry or rendered concrete type materials, with lighter materials used for suspended, lightweight or cantilevered building elements such as awnings, feature panels, roof sections and balconies.

2.2 Scheme Provisions

These Design Guidelines are intended to supplement the provisions of the Scheme and should be read in conjunction with the Scheme, in particular those provisions relating to the Claisebrook Village Project Area, Precinct EP2: Constitution Street, and other Planning Policies.

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme Text.

The Scheme identifies Preferred, Contemplated and Prohibited uses for Precinct EP2: Constitution Street and stipulates maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

New development should be in harmony with the character and scale established by existing buildings. The local government encourages the recycling-of buildings where this is viable and where they make a positive contribution to the streetscape and amenity of the area.

3.0 BUILDING FORM

3.1 Setbacks

SETBACKS FRONTAGE	MIN	AVERAGE
Constitution Street	3m*	-
Arden Street	Nil	2m
Nile Street	Nil	-
Trafalgar Road	2.5m	-
Side Setbacks	Nil	-

* Garages will be allowed to be constructed to a nil setback. A maximum of one double width garage (max 7m) and crossover will be permitted on each lot.

Balconies may project by up to two metres beyond the building setback line or to the lot boundary, whichever is the lesser.

Other than those stated above, setbacks are to be in accordance with the R-Codes.

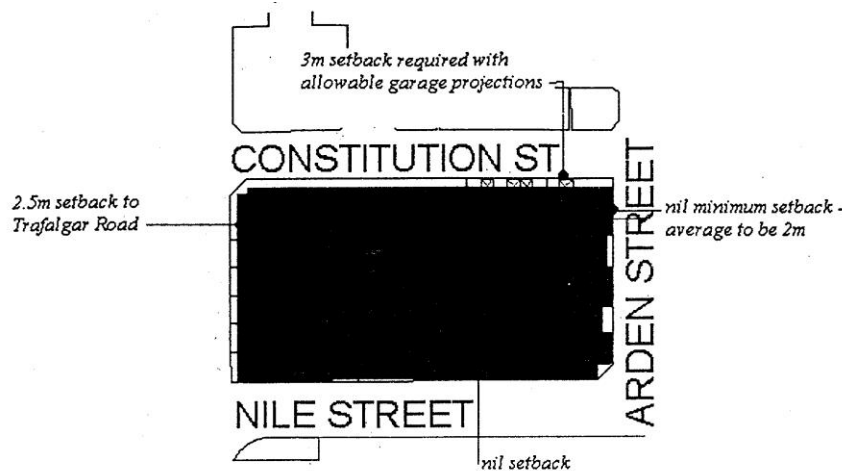


Figure 2:- Setbacks

3.2 Building Height

Building height and bulk will be required to be contained within building envelopes. In general, building height will be from two storeys (6m) to four storeys (12m). Only minor projections will be allowed through building envelopes for such items as chimneys, awnings, pergolas, balconies and small portions of bay and dormer windows.

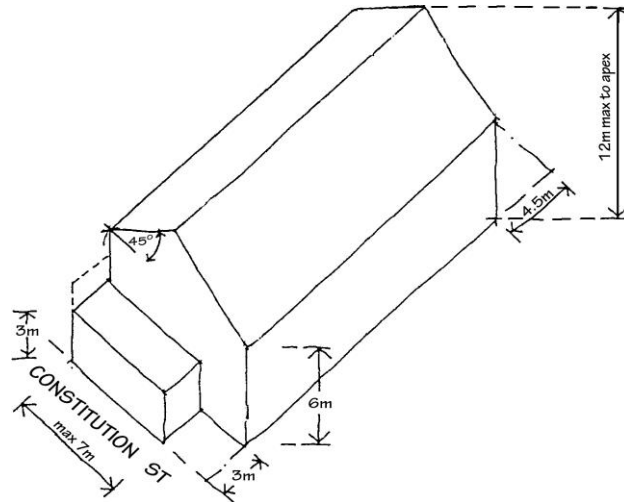


Figure 3:- Building Envelope

3.3 Parking and Access

Garage parking (as opposed to carports) will be required for single residential lots facing Constitution Street. Undercroft or basement parking concealed from public view is generally preferred, although open air car parking at the rear of larger sites will be considered. (Refer also to 3.7 Garage Roof Decks).

At-grade pedestrian access for all users into buildings is to be provided from street frontages. Safe and attractive pedestrian access into buildings is also to be provided from any car park on site. Generally, one crossover only will be allowed for each lot.

3.4 Building Character

Colours and materials for walls are to be predominantly red brick, limestone and similarly coloured masonry or rendered walls, with painted cladding acceptable on upper floors.

Buildings should respect the scale of the street or place and of their neighbours. The buildings should also be sympathetic in scale, massing and proportions to adjacent buildings of heritage significance.

Buildings will be assessed for their contribution to the legibility and identity of East Perth, the public-private interface, streetscapes, grain and sense of place. Aspects such as roof line, materials and the scale and massing of buildings will be carefully considered by the local government in the assessment of development applications.

The use of courtyards and/or balconies is encouraged to provide amenity for residential development where required, and to take advantage of any views. All elevations are to be well detailed and are to relate to a pedestrian scale.

3.5 Roofs

Roofs should generally be expressed in a way which compliments the architectural style of the building, which provides clear silhouettes and minimises visual clutter. Roofs should be pitched between 30° and 45°. Roof materials should be tiles in autumn or terracotta tones, flat profile slate shingles or corrugated metal decking in light colour tones.

3.6 Walls and Windows

Blank walls abutting a public space must be minimised. Walls are to be detailed to provide visual interest and pedestrian scale. Proportions of solid wall to openings should reflect the scale of adjacent spaces.

Windows are to have a vertical or square proportion. Where the overall window opening shape is of a horizontal nature, glazing shall be broken up to reflect the required square or vertical proportion. Reflective or dark tinted glass is not permitted.

3.7 Garage Roof Decks

Steep sloping lots fronting Constitution Street may be provided the opportunity to create a garage roof deck. This would only be considered as acceptable where roof deck levels relate to internal floor levels of the dwelling and where any impact on adjoining development, particularly in terms of privacy, is satisfactorily addressed. Such deck space at a nil side setback, for example, would be required to be screened to a height of 1.8m.