

Planning Policy Manual – Part 2

**Planning Policies and Design Guidelines for Normalised
Redevelopment Areas**

Section 2.21
East Perth – Area 21
Constitution Hill North



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1.0 INTRODUCTION

1.1 Context

These Design Guidelines apply to the land within the Constitution Street Precinct (Precinct EP2) as defined in the City of Perth Local Planning Scheme No. 26 (Normalised Redevelopment Areas) (herein called ‘the Scheme’).

The Deemed Provisions set out in the *Planning and Development (Local Planning Schemes) Regulations 2015* also form part of the Scheme.

The Scheme identifies Preferred, Contemplated and Prohibited uses within the Constitution Street Precinct and stipulates maximum plot ratio. In determining any application for development approval, the local government will have regard to these Design Guidelines, the Scheme and other Planning Policies.

1.2 Scope of Guidelines

These Design Guidelines apply to Lots 8, 9, 16 to 30 and 40 to 45 Constitution Hill North, as shown in Figure 1.

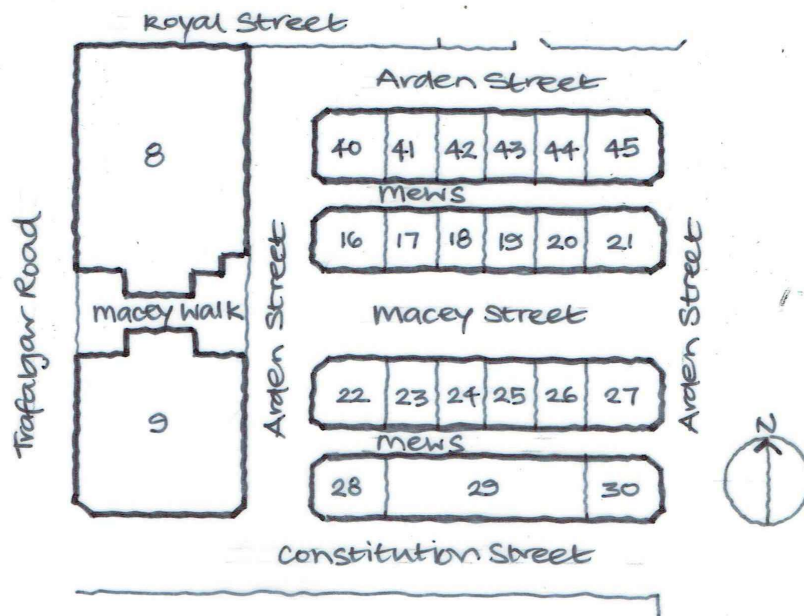


Figure 1: - Extent of Design Guidelines coverage in Constitution Hill North land release.

1.3 Integration of Art

An artist should be encouraged to be involved in the design of the new development to help enrich design responses. Examples of integral artworks include detailing to fences and walls, steps, balustrades, paving design, lighting, building fittings and entry treatments.

1.4 Building Envelopes

- Building height and bulk shall be contained within a building envelope, with only minor projections outside of this allowed for items such as chimneys, finials, awnings, pergolas, balconies and small portions of bay and dormer windows. Balconies and enclosed rooms must not project past the lot boundaries.



- For Lot 8, the building envelope shall have a maximum height of 17.5m above finished ground level, projected at 45 degrees from a point 10.5m maximum (3 storeys) above the finished ground level at the Macey Walk lot boundary and from a point 14m maximum (4 storeys) above the finished ground level at the Royal Street lot boundary, as shown in Figure 2. The maximum height at the Arden Street and Trafalgar Road lot boundaries shall not extend beyond a line that connects the maximum heights at the Royal Street and Macey Walk lot boundaries.

Note that the 17.5m height is measured from a line across the site connecting the Macey Walk ground level to the Royal Street ground level. The 45 degrees angle applies above the maximum height at all street lot boundaries.

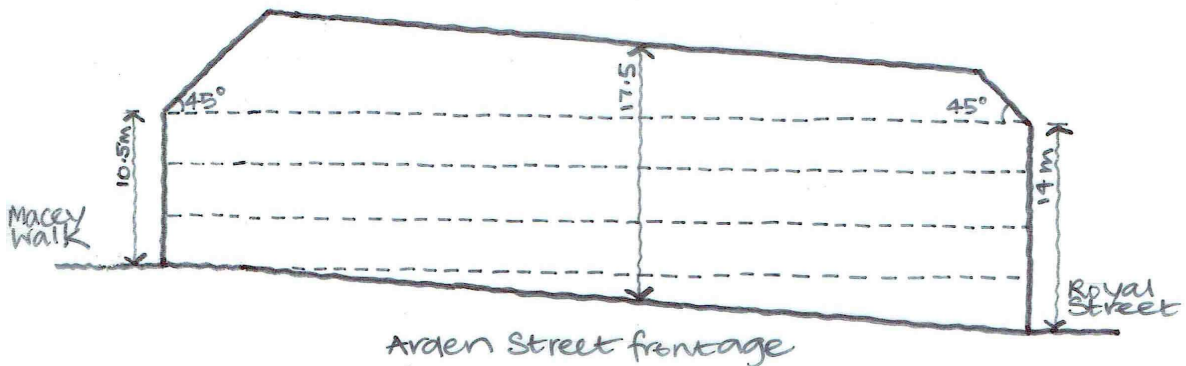


Figure 2: - Building envelope for Lot 8

- For Lot 9, the building envelope shall have a maximum height of 17.5m above finished ground level, projected at 45 degrees from a point 10.5m maximum (3 storeys) above the finished ground level at the Constitution Street lot boundary and from a point 14m maximum (4 storeys) above the finished ground level at the Macey Walk lot boundary, as shown in Figure 3. The maximum height at the Arden Street and Trafalgar Road lot boundaries shall not extend beyond a line that connects the maximum heights at the Constitution Street and Macey Walk lot boundaries.

Note that the 17.5m height is measured from a line across the site connecting the Constitution Street ground level to the Macey Walk ground level. The 45 degrees angle applies above the maximum height at all street lot boundaries.

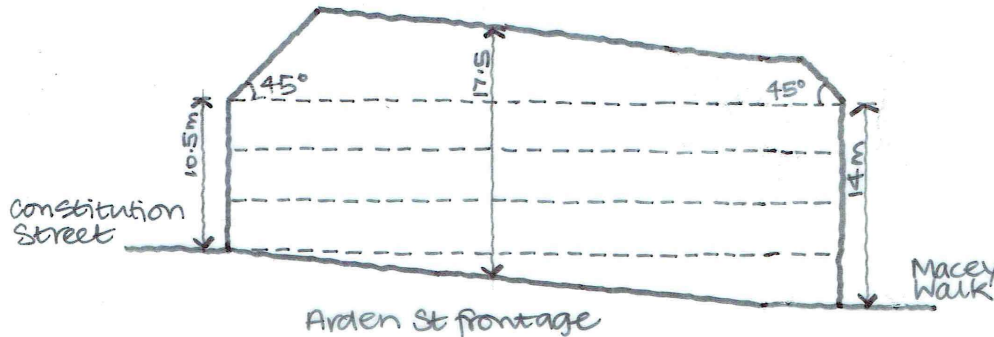


Figure 3: - Building envelope for Lot 9



- For Lots 16 to 30 and 40 to 45, the building envelope shall have a maximum height of 12m projected at 45 degrees from a point 6m maximum (2 storeys) above the finished ground level at the street and mews lot boundaries, as shown in Figures 4 and 5. Note that the 12m height is measured from a line across the site connecting the street ground level to the mews ground level.

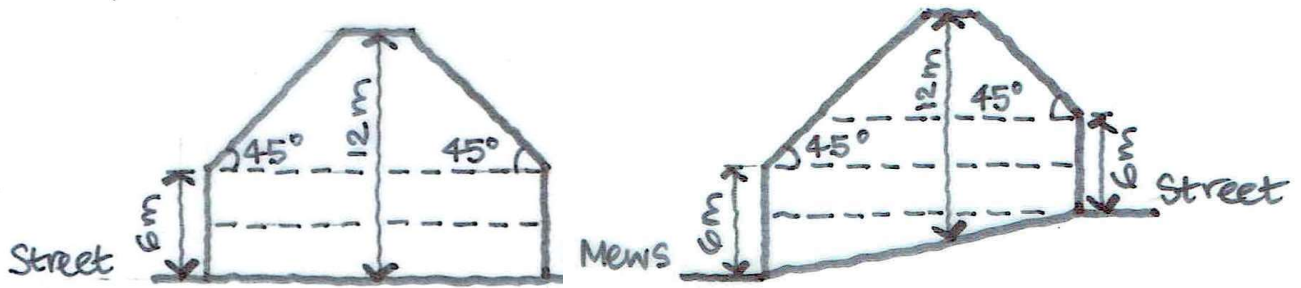


Figure 4: - Typical sections through a flat lot and a sloping lot showing the building envelopes.

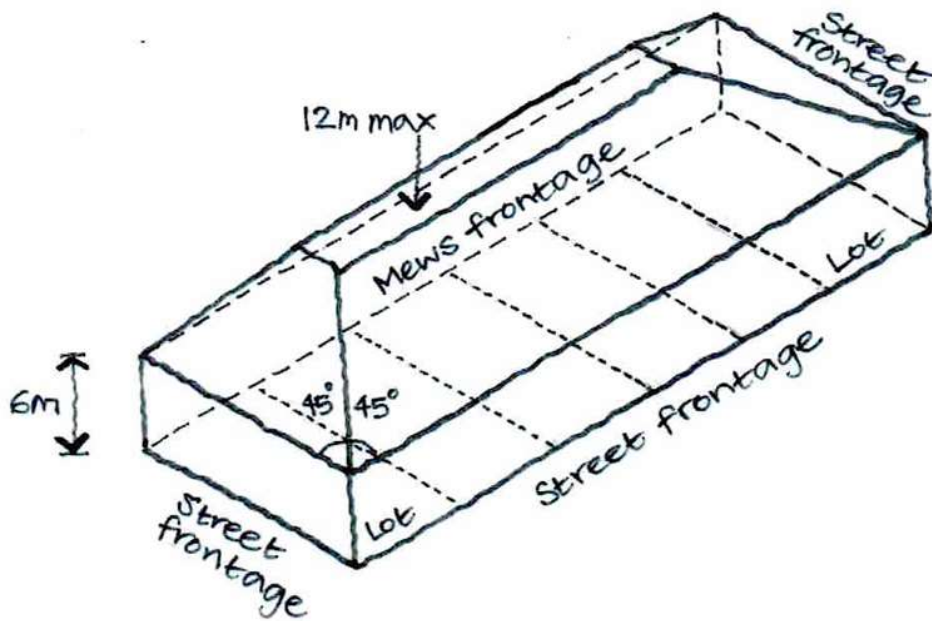


Figure 5 – Typical building envelope for the street blocks.

2.0 SETBACKS

2.1 General

- No part of a building or balcony should be closer than 1m to any existing overhanging street tree canopy.
- Balconies may project up to 2m beyond the building setback but not beyond the lot boundary.



2.2 Constitution, Arden, Royal and Macey Street Frontages (east-west orientation streets)

- The building shall be setback a minimum of 3m.

2.3 Trafalgar Road and Arden Street Frontages (north-south orientation streets)

- The building shall be setback an average of 2m, with nil permitted for a portion of its length.

2.4 Macey Walk Frontages

- A nil building setback is permitted.

2.5 Mews Frontages

- A nil building setback is permitted for garages, carports and any building above the garages.
- Landowners shall ensure that buildings and fences are setback from services and service easements in accordance with the relevant service authorities' requirements.

2.6 All Other Boundaries

- For Lot 29, buildings shall have nil side setbacks to develop a terrace housing form.
- For all single dwelling lots, a nil setback to both ground level side boundaries is permitted. At least one nil side setback shall be provided as follows:
 - Lots 18, 20, 21, 24, 26, 27, 30, 42, 44 and 45 – building shall have a nil setback to the western side boundary;
 - Lots 16, 17, 19, 22, 23, 25, 28, 40, 41 and 43 – building shall have a nil setback to the eastern side boundary.

Upper floors may be setback from the side boundaries where a nil building setback is provided at ground level.

3.0 ACCESS AND PARKING

- Pedestrian access to dwellings shall be provided via front doors that face streets, excluding the mews, and Macey Walk.
- A maximum of two crossovers per lot shall be provided for vehicle access to car parking on Lots 8 and 9.
- All vehicle access to Lots 16 to 30 and 40 to 45 shall be off the mews, with garage doors opening directly to the mews, but not causing any obstruction to vehicular movement in the mews.
- The extent of street and mews frontage given over to car access to garages and parking should be minimised.
- All car parking shall be screened from public view.

4.0 OPEN SPACE

- Each dwelling shall be provided with an area of private north facing open space that is directly accessible from a living area. For dwellings abutting Macey Walk on Lot 9, and dwellings on Lots 22 to 27, the private open space may have any orientation, given the shading from existing large tree canopies.
- Private open space may be provided at ground level or as a balcony, terrace or deck.



- All private open space shall be of a usable area and dimensions. Ground level private open space should include an area with minimum dimensions of 4m by 4m, while a balcony serving as the only area of private open space should have a minimum area of 10m² with a minimum dimension of 2m.
- Balconies should be designed for user privacy and useability.
- Additional communal open space may be provided as desired, with the intended uses and management responsibilities clearly identified.

5.0 BUILDING FORM

5.1 General

- A range of dwelling types should be provided within Constitution Hill North. Multiple dwellings are most appropriate for Lots 8 and 9; terrace housing for Lot 29; and for the other lots, either terrace houses with external walls on both side boundaries, or semi-detached housing with external walls on one side boundary.
- Additional dwelling space above mews garages may be considered, with scope for ancillary dwellings.

5.2 Roof

- The majority of the roof pitch shall be between 30 to 45 degrees where it is visible from Macey Walk, streets and mews, with a shallower pitch being acceptable for verandahs and canopies and small areas of skillion roofs. Small areas of flat roofs are acceptable where they are screened behind parapets.
- Dormer/attic windows should be considered in the roof design.

5.3 Articulation and Detailing

- Openings to habitable rooms of dwellings shall face streets, the mews and Macey Walk, rather than blank walls and/or garages.
- Dwelling design shall enable "eyes on the street, Macey Walk and the mews" for passive surveillance from inside some habitable rooms and from outdoor areas, such as balconies.
- Buildings shall be articulated and detailed to provide modulated street facades with the use of elements such as verandahs, balconies, dormers and window projections to provide visual interest and establish a fine-grained scale to development. Detailing shall provide richness and variety, accentuate vertical rhythms, reduce visual bulk of building mass and enhance individual dwelling identity.
- The design of buildings on Lots 8 and 9 should respond to their gateway locations.
- Corner buildings shall address both streets with consideration given to treatments that mark corners and link both streets, for example through additional floor height, distinct roof form, articulation of corner wall elements, distinctive window design, variation in materials and colours and special balcony treatments.
- Garages (particularly doors), carports and parking areas should be detailed to reduce their visual impact and add interest at the pedestrian level.

6.0 COLOURS AND MATERIALS

6.1 Wall and windows

- Walls shall be predominantly red brick, limestone and similarly coloured masonry or render, with painted cladding acceptable on upper floors.
- Reflective mirror glass or dark tinted glass in openings shall not be permitted.

6.2 Accent colours

- An accent colour should highlight elements, such as trims, fascias, gutters, doors and windows, balustrades, pergolas and fence infill panels.

6.3 Roofs

- Roof materials shall be selected within the following colour range: tiles in terracotta or similar mid-range tones; flat profile shingles in slate grey; corrugated metal decking in shades of grey, cream, mid-brown and pale green, such as Colorbond Surfemist, Paperbark, Sandbank, Dune, Cove, Classic Cream, Terrain and Pale Eucalypt.
- A Zinalume finish may be acceptable where it can be demonstrated that glare and reflectivity will not be a problem to neighbours and surrounding activities.

7.0 RETAINING WALLS AND FENCES

- Materials and colours of retaining walls and the solid components of fences shall match the external walls of the dwelling.
- Retaining walls shall have a maximum height of 1.2m when measured from the ground level of the adjoining street or walkway.
- The style of fencing fronting Macey Walk and streets (not mews) shall include capped masonry piers with a maximum height of 2m and a solid base course of a matching material between 0.4 and 0.6m in height. Above this 50% visually permeable infill panels shall be provided to a maximum height of 1.8m. These infill panels shall be constructed of painted timber or metal.
- Solid panels of fencing may be permitted where the only area of private open space is at ground level and abuts the street frontage or Macey Walk. In such cases, the extent of solid fencing shall not exceed 50% of the lot width for that particular dwelling. Solid panels of fencing are permitted to mews frontages, with no limit on their width.
- Any boundary fence facing the mews shall have a maximum height of 1.8m.

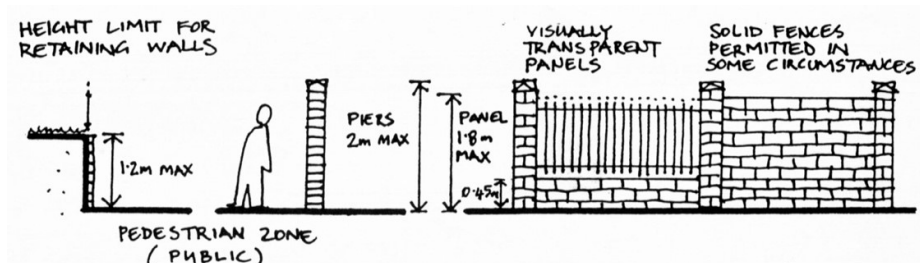


Figure 5: - Typical fencing styles and heights



8.0 LANDSCAPE

- Permeable segmental paving shall be used for all hard surfaces to increase on-site absorption of water.
- Where paving abuts sealed surfaces in streets or the mews and is visible from public areas, the new paving should be a compatible colour, texture and scale.
- The scale and form of trees (in mature state) should relate to building mass.

9.0 SERVICES

- All meters and connections shall be accessed off the mews for Lots 16 to 30 and Lots 40 to 45, with fittings to be integrated into the overall landscape and building design at the mews frontage. A similar level of design integration is required for Lots 8 and 9. Where a service easement area is defined for each lot, any structure shall remain clear of this area.
- All piped and wired services, air conditioners, clothes drying areas and hot water storage tanks shall be concealed from Macey Walk and streets, excluding the mews, with the exception of solar panels and solar water heaters that may be visible where they are in the same plane as the roof and where there is no alternative location that can provide a similar level of solar efficiency.
- For all lots, the required number of bins shall be stored on the lot and screened from public view. For Lots 16 to 30 and Lots 40 to 45, to avoid any bins obstructing vehicular movement in the mews on waste collection day, a pad for the required number of bins shall be constructed at the rear of the lot at the boundary with the mews.