



CITY of PERTH

Lord Mayor and Councillors,

NOTICE IS HEREBY GIVEN that the next meeting of the **Planning Committee** will be held in Committee Room 1, Ninth Floor, Council House, 27 St Georges Terrace, Perth on **Tuesday, 25 August 2015 at 5.30pm.**

Yours faithfully

**GARY STEVENSON PSM
CHIEF EXECUTIVE OFFICER**

20 August 2015

Committee Members:

Members:

Cr Butler (Presiding Member)
Cr Harley
Cr McEvoy

1st Deputy:

Cr Adamos

2nd Deputy:

Cr Davidson
OAM JP



Please convey apologies to Governance on 9461 3250 or email
governance@cityofperth.wa.gov.au

EMERGENCY GUIDE

Council House, 27 St Georges Terrace, Perth



CITY of PERTH

The City of Perth values the health and safety of its employees, tenants, contractors and visitors. The guide is designed for all occupants to be aware of the emergency procedures in place to help make an evacuation of the building safe and easy.

BUILDING ALARMS

Alert Alarm and Evacuation Alarm.

ALERT ALARM

beep beep beep

All Wardens to respond.

Other staff and visitors should remain where they are.

EVACUATION ALARM/PROCEDURES

whoop whoop whoop

On hearing the Evacuation Alarm or on being instructed to evacuate:

1. Move to the floor assembly area as directed by your Warden.
2. People with impaired mobility (those who cannot use the stairs unaided) should report to the Floor Warden who will arrange for their safe evacuation.
3. When instructed to evacuate leave by the emergency exits. **Do not use the lifts.**
4. Remain calm. Move quietly and calmly to the assembly area in **Stirling Gardens** as shown on the map below. Visitors must remain in the company of City of Perth staff members at all times.
5. After hours, evacuate by the nearest emergency exit. **Do not use the lifts.**



EVACUATION ASSEMBLY AREA



Assembly Area

Alternate Assembly Area

PLANNING COMMITTEE

Established: 17 May 2005 (Members appointed 22 October 2013)

Members:	1st Deputy:	2nd Deputy:
Cr Butler (Presiding Member)	Cr Adamos	Cr Davidson OAM JP
Cr Harley		
Cr McEvoy		

Quorum: Two
Terms Expire: October 2015

TERMS OF REFERENCE: [Adopted OCM 04/06/13]

To oversee and make recommendations to the Council on matters related to:

1. development, building, demolition, sign and alfresco dining applications and proposals for subdivision or amalgamation;
2. the City Planning Scheme and planning policies;
3. identification of long term planning opportunities and major projects, including the Perth City Link, Elizabeth Quay and;
4. strategic town planning initiatives and economic development;
5. Heritage, including:
 - 5.1 the City of Perth Municipal Inventory;
 - 5.2 the Register of Places of Cultural Heritage Significance referred to in City Planning Scheme No. 2, and management of same;
 - 5.3 heritage incentive initiatives;
6. transport and traffic network planning issues;
7. environmental improvement strategies including environmental noise management;
8. liquor licensing;
9. land administration issues, such as street names, closures of roads and rights-of-way and vesting of reserves;
10. applications for events held within the City of Perth that require planning approval as a result of excessive noise or traffic management proposals;
11. Legislation and compliance in relation to land use planning.

This meeting is open to members of the public.

INFORMATION FOR THE PUBLIC ATTENDING COMMITTEE MEETINGS

Question Time for the Public

- An opportunity is available at all Committee meetings open to members of the public to ask a question about any issue relating to the City. This time is available only for asking questions and not for making statements. Complex questions requiring research should be submitted as early as possible in order to allow the City sufficient time to prepare a response.
- The Presiding Person may nominate a Member or officer to answer the question, and may also determine that any complex question requiring research be answered in writing. No debate or discussion is allowed to take place on any question or answer.
- To ask a question please write it on the white Question Sheet provided at the entrance to the Council Chamber and hand it to a staff member at least an hour before the meeting begins. Alternatively, questions can be forwarded to the City of Perth prior to the meeting, by:-
 - Letter: Addressed to GPO Box C120, Perth, 6839;
 - Email: governance@cityofperth.wa.gov.au.
- Question Sheets are also available on the City's web site: www.perth.wa.gov.au.

Deputations

A deputation wishing to be received by a Committee is to apply in writing to the CEO who will forward the written request to the Presiding Member. The Presiding Member may either approve the request or may instruct the CEO to refer the request to the Committee to decide whether or not to receive the deputation. If the Presiding Member approves the request, the CEO will invite the deputation to attend the meeting.

Please refer to the 'Deputation to Committee' form provided at the entrance to the Council Chamber for further information on the procedures for deputations. These forms are also available on the City's web site: www.perth.wa.gov.au.

Disclaimer

Members of the public should note that in any discussion regarding any planning or other application that any statement or intimation of approval made by any Member or officer of the City during the course of any meeting is not intended to be and is not to be taken as notice of approval from the City. No action should be taken on any item discussed at a Committee meeting prior to written advice on the resolution of the Council being received.

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PLANNING COMMITTEE

25 AUGUST 2015

ORDER OF BUSINESS

- 1. Declaration of Opening**
- 2. Apologies and Members on Leave of Absence**
- 3. Question Time for the Public**
- 4. Confirmation of Minutes – 4 August 2015**
- 5. Correspondence**
- 6. Disclosure of Members' Interests**
- 7. Matters for which the Meeting may be Closed**

In accordance with Section 5.23(2) of the *Local Government Act 1995*, should an Elected Member wish to discuss the content of the confidential item and schedules listed below, it is recommended that Committee resolve to close the meeting to the public prior to discussion of the following:

Confidential Item / Schedule No.	Item No. and Title	Reason
Schedules 7 and 8	Item 7 – Matched Funding Business Grants 201516	Section 5.23(2)(e)(iii)

- 8. Reports**
- 9. Motions of which Previous Notice has been Given**
- 10. General Business**
 - 10.1. Responses to General Business from a Previous Meeting**
Nil
 - 10.2. New General Business**
- 11. Items for Consideration at a Future Meeting**

Outstanding Reports:

12. Closure

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ITEM NO: 1

37A-37C (LOT 51) MOUNT STREET, WEST PERTH – 8-LEVEL RESIDENTIAL DEVELOPMENT CONTAINING 21 MULTIPLE DWELLINGS AND 32 CAR PARKING BAYS

RECOMMENDATION: (APPROVAL)

That:

1. ***in accordance with the provisions of the City Planning Scheme No. 2, Council APPROVES BY AN ABSOLUTE MAJORITY the application for an 8-level residential development containing 21 multiple dwellings and 32 car parking bays at 37A-37C (Lot 51) Mount Street, West Perth as detailed on the Metropolitan Region Scheme Form One dated 16 May 2015, and as shown on the plans received on 17 July 2015 subject to:***
 - 1.1 ***final details of the design and a sample board of the high quality and durable materials, colours and finishes for the building being submitted and approved by the City prior to applying for a building permit;***
 - 1.2 ***any proposed external building plant, lift overruns, piping, ducting, water tanks, transformers, and fire booster cabinets shall be located so as to minimise any visual and noise impact on the adjacent developments and being screened from view of the street and nearby developments, including any such plant or services located within the vehicle entrance of the development, with details of the location and screening of such plant and services being submitted and approved by the City prior to applying for a building permit;***

(Cont'd)

- 1.3 all car parking areas being aesthetically screened from view from the adjacent properties and surrounding areas, with details of the façade treatment and permanent screening to the south-east elevation of the car parking levels being submitted to the City for approval prior to applying for a building permit;**
- 1.4 the balconies being designed as predominantly transparent, naturally ventilated, non-habitable structures that cannot be fully enclosed, with no temporary or permanent window treatments or furnishings being permitted that could diminish the transparency of the balcony or obstruct views to and from the street;**
- 1.5 restrictions on the permanent enclosure of the balconies and on the installation of window furnishings, in accordance with condition 1.4, being incorporated as a strata by-law for the development to the City's satisfaction, with any changes to this by-law requiring the written approval of the City;**
- 1.6 the side boundary wall between Lot 51 and the adjacent development at 35 Mount Street being setback 4.5 metres from the street, in accordance with the requirements of the Mount Street Design Policy;**
- 1.7 a final detailed landscaping and reticulation plan for the site, with particular attention to the landscaping and structural specifications (load bearing slab, drainage points and waterproof membrane) of the rooftop garden, being submitted for approval by the City prior to applying for the relevant building permit, with the approved landscaping being installed prior to the occupation of the building and thereafter maintained to a high standard;**
- 1.8 the dimensions of all car parking bays, the vehicle entrance, aisle widths and circulation areas complying with the Australian Standard AS2890.1;**

(Cont'd)

- 1.9 a maximum of 32 residential car parking bays being provided on site, with these bays being for the exclusive use of the occupants or guests of the development and not being leased or otherwise reserved for use by tenants or occupants of other buildings or sites;**
- 1.10 details of on-site stormwater disposal/management being to the City's specifications and being submitted and approved by the City prior to applying for a building permit;**
- 1.11 in the event that the approved development has not been substantially commenced within six months of the demolition of the existing building on site, the site is to be landscaped or aesthetically screened at the owner's cost, with details being submitted and approved by the City prior to installation, in order to preserve the amenity of the area and to prevent dust and sand being blown from the site, with the site being maintained in a clean and tidy state to the City's satisfaction;**
- 1.12 the works referred to in Condition 1.11 above, shall be secured by a bond / deed of agreement between the applicant and the City, to the value of the proposed works, with the cost of the deed to be borne by the applicant;**
- 1.13 any signage for development being integrated into the design of the building with any signage not exempt from approval under the City's Planning Policy 4.6 Signs being subject to a separate application for approval;**
- 1.14 the Waste Management Strategy dated 7 July 2015 being implemented by the owners of the development, with any alternative waste management proposals that might impact on the design of the building being submitted for approval by the City prior to applying for a building permit;**

(Cont'd)

1.15 the proposed development being designed and constructed in such a manner so that existing and possible future noise levels associated with traffic impacts and nearby commercial uses, in addition to noise generated from within the development, that could potentially affect future residents, can be successfully attenuated. Details of such noise attenuation measures shall be prepared by a qualified acoustic consultant and be submitted for approval by the City prior to the submission of an application for the relevant building permit and may include (but not be limited to) the following:

- a. installation of double glazing or heavyweight single glazing of a minimum thickness of 10mm on windows and glass doors to bedrooms and living areas;**
- b. acoustic insulation in external walls, non-glazed doors and roofs;**
- c. the construction of shared walls, ceilings and floors between dwellings and between residential and non-residential units, in such a way which minimises the transmission of noise; and**
- d. acoustically insulated ducting in ducted air-conditioning;**

1.16 the submission of the following reports, prepared by suitably qualified consultants, prior to applying for a building permit:

- a. a construction management plan, detailing how it is proposed to manage the delivery of materials and equipment to the site; the storage of materials and equipment on the site; the parking arrangements for the contractors and subcontractors; any dewatering of the site; and any other matters likely to impact on the surrounding properties;**

(Cont'd)

- b. construction methodology and equipment to be employed by the builder to minimise any impact or damage to the adjoining properties and adjacent escarpment during construction;*
 - c. slope stability report and recommendations;*
 - d. hydrological report; and*
 - e. geotechnical report;*
- 2. the application be referred to the Western Australian Planning Commission for determination under the Metropolitan Region Scheme - Clause 32 Area, for a variation to the maximum building height prescribed under the Parliament House Precinct Policy.**

BACKGROUND:

SUBURB/LOCATION: 37A-37C (Lot 51) Mount Street, West Perth
FILE REFERENCE: 2015/5218
RESPONSIBLE DIRECTORATE: Planning and Development
REPORTING UNIT: Development Approvals
DATE: 17 August 2015
MAP / SCHEDULE: Schedule 1 - Map and coloured perspectives for 37A-37C Mount Street, West Perth
3D MODEL PRESENTATION: A 3D Model for this application will be available at the Committee meeting.

LANDOWNER: Rehawk Property Group Pty Ltd
APPLICANT: Baltinas Architecture
ZONING: (MRS Zone) Central City Area Zone
(City Planning Scheme Precinct) West Perth Precinct 10
(City Planning Scheme Use Area) Residential – R160
APPROXIMATE COST: \$10 million

SITE HISTORY:

The subject site is an L-shaped lot located on the southern side of Mount Street, with a total site area of 894m². The site contains a two storey dwelling which was constructed in 1915 however, it does not have any listing on the State Register of Heritage Places or on the City's Register of Places of Cultural Heritage Significance.

DETAILS:

Approval is sought to demolish the existing house at 37A-37C (Lot 51) Mount Street and to construct an 8-level residential development containing 21 multiple dwellings and 32 car parking bays at the subject site.

Details of the proposed development are as follows:

Basement Level 1	This level contains 17 car parking bays, 6 residential store rooms ranging in size from 12m ² to 25.7m ² , a bin storage area, a transformer compound and a switch board room
Basement Level 2	This level contains 15 car parking bays and 10 residential store rooms ranging in size from 12.1m ² to 25.7m ²
Ground Floor Level	This level contains three 2 bedroom, 2 bathroom apartments ranging in size from 76.1m ² to 77.7m ² , 19 bicycle storage units, combined residential and fire pump rooms, fire tanks, a cleaners and building materials store and an online delivery room. The vehicle access into the basement car park will be provided from this level off Mount Street.
First and Third Floor Levels	Each level contains four apartments with 2 bedrooms and 2 bathrooms ranging in size from 76.1m ² to 77.7m ² . Each apartment will be provided with a balcony ranging in size from 11.3m ² to 13.8m ² . A roof garden will also be provided above the bicycle storage area, which is intended for use by the residents of the adjacent property at 39 and 39A Mount Street.
Second and Fourth Floor Levels	Each level contains four apartments with 2 bedrooms and 2 bathrooms ranging in size from 76.1m ² to 77.7m ² . Each apartment will also have a balcony ranging in size from 11.3m ² to 13.8m ² .
Fifth Floor Level	This level contains two penthouse apartments with 3 bedrooms and 3 bathrooms of 157m ² and 161m ² in size.
Roof Level	This level contains the private outdoor facilities for the penthouse apartment including swimming pools, barbecue and bar facilities. Solar panels for the apartment building will also be provided at this level.

The development is proposed to be constructed and finished using high quality, durable, low maintenance materials. This includes off form white precast concrete panels with a smooth finish, glass curtain walls, Aneeta slider or operable double hung windows and operable glass shutters to the 'winter garden' balconies, aluminium vertical louvres and a stone finish to the entrance. The south-west elevation to the car park will be designed with automatic closing fire shutters with aluminium "green" powder coated louvres to the exterior. A significant creeper planter will also be used for screening the south-east elevation to ensure the car park blends in with the vegetation of the rear escarpment. A roof garden is proposed above the south-west car park and bicycle storage area.

LEGISLATION / POLICY:

Legislation *Planning and Development Act 2005*
City Planning Scheme No.2

Policy

Policy No and Name: Parliament House Precinct Policy 1983
3.1 Design of Residential Development
4.1 City Development Design Guidelines
4.6 Signs
4.9 Residential Design Policy
5.1 Parking Policy
5.3 Bicycle Parking and End of Journey Facilities
6.5 Mount Street Design Policy

COMPLIANCE WITH PLANNING SCHEME:

Land Use

The subject site is located in the Residential – R160 Use Area of the West Perth Precinct 10 under City Planning Scheme No. 2 (CPS2). The Statement of Intent for the Precinct notes it will be developed as a residential quarter accommodating a range of housing types along with support facilities and will also provide a secondary business area adjacent to the city centre.

A residential use is a preferred ('P') use in the Residential-R160 area of the West Perth Precinct and is therefore supported in this location.

Development Requirements

Buildings in the Residential-R160 area of the West Perth Precinct shall be limited in height to protect the dominance of King's Park and the escarpment and to reflect its north-south slope. Buildings shall be setback from all lot boundaries and setback areas shall be generously landscaped and maintained.

As the subject site is located in the Metropolitan Region Scheme Clause 32 Area - Parliament House Outer Precinct and contains a variation to the maximum height permitted under the Parliament House Precinct Policy 1983, the application is required to be referred to the Western Australian Planning Commission for determination under the Metropolitan Region Scheme.

The proposal has been assessed against the CPS2, Mount Street Design Policy and Parliament House Precinct Policy requirements and the proposal's compliance with the applicable development standards is summarised below:

Development Standard	Proposed	Required / Permitted
Maximum Plot Ratio:	2.0:1.0 (1,788m ²)	2.0:1.0 (1,788m ²)
Building Heights:		
Mount Street Design Policy	19 metres	19 metres (maximum)
Parliament House Precinct Policy	37.4 metres AHD	34.5 metres AHD
Setbacks:		
Front		
- Ground	5.4 metres	4.5 metres (minimum) 2 metres to open verandah (minimum)
- First to Fifth floor level	5.4 metres to main building line, 3 metres to balcony ('winter garden')	4.5 metres (minimum) 2 metres to open verandah (minimum)
Side (North-East)		
- Ground	2.9 metres – 3.1 metres	3 metres (minimum)
- First to Fifth floor level	2.2 metres – 3.1 metres	3 metres (minimum)
Side (South-West)		
- Ground and first floor of boundary abutting 41-43 Mount Street	Nil	3 metres (minimum)
- Ground abutting 39 Mount Street	2.5 metres – 3.2 metres	3 metres (minimum)
- First to Fifth floor abutting 39 Mount Street	2.2 metres – 3 metres	3 metres (minimum)
Rear		
- Basement levels 1 and 2	Nil	Not specified
- Ground to first floor level	Nil – 1.5 metres	Not specified

Development Standard	Proposed	Required / Permitted
- Second to fifth floor level	1.5 metres – 2.5 metres	Not specified
Car Parking:	32 bays including 29 residential bays and 3 visitor bays	22 bays (minimum)
Bicycle Parking:	19 dedicated bicycle storerooms	7 bays (minimum)

Variations to the setback provisions applicable to the development can be granted by an absolute majority decision of the Council, in accordance with Clause 47 of the City Planning Scheme and provided the Council is satisfied that:

'47(3)(d)(i) if approval were to be granted, the development would be consistent with:

- (A) the orderly and proper planning of the locality;*
- (B) the conservation of the amenities of the locality; and*
- (C) the statement of intent set out in the relevant precinct plan; and*

(ii) the non-compliance would not have any undue adverse effect on:

- (A) the occupiers or users of the development;*
- (B) the property in, or the inhabitants of, the locality; or*
- (C) the likely future development of the locality'.*

COMMENTS:

Consultation

Given the proposed variations to the CPS2 and Mount Street Design Policy development standards the application was advertised to the owners of the surrounding properties for a period of 14 days, closing on 27 July 2015. These include the owners of the properties directly adjacent at 35, 39 and 41-43 Mount Street, opposite at 36, 40 and 42 Mount Street and to the rear at 112 Mounts Bay Road (Mounts Bay Waters). Four submissions were received from owners located at 42 Mount Street and 112 Mount Street, objecting to the proposed development. The concerns raised during the advertising period is summarised below:

- the proposed development does not comply with the side setback provisions and therefore the view corridors between the buildings;
- the proposed development will exceed the height of nearby buildings and is overbearing in terms of its scale;
- loss of views from 112 Mounts Bay Road and the potential decrease in property values;
- loss in privacy and loss of daylight/overshadowing to the property at the rear at 112 Mounts Bay Road;

- increase in traffic congestion on Mount Street;
- potential movement (landslide) of the Mount Eliza escarpment;
- loss of an architecturally important residence on the existing site which dates back to the early 1900s and has a colourful history;
- concerns regarding the quality of the building in terms of its materials, articulation and landscaping; and
- concerns regarding the construction phase, in particular issues of overspill onto the street from a previous build directly adjacent at 35 Mount Street by the same design team and builder.

In relation to the concerns raised above including the quality of the materials and finishes, landscaping, side setback variations, height and scale, loss in privacy and daylight and overshadowing impacts, these issues will be discussed in further detail under the Building Design, Materials and Finishes, Building Heights and Setbacks sections of the report.

It is noted that although there are concerns regarding the loss of the existing dwelling on the site this building does not have any formal listing under the State Register of Heritage Places or the City's Register of Places of Cultural Heritage Significance. The applicant has also confirmed that the building is in poor condition and possesses very little historical significance.

In terms of the impact on traffic congestion, the development will provide 32 car parking bays (including 3 visitor bays) which is compliant with the minimum number of car parking bays permitted at the site (minimum of 22 bays with no maximum limit prescribed). The number of car parking bays proposed is consistent with the total number of apartments proposed at the site, with an average of 1.5 bays per dwelling, and will not result in any undue adverse impacts in terms of traffic congestion along Mount Street.

In terms of the proposed development's impact on property values and loss of views in the area, these are not valid planning considerations.

In regards to the issues raised regarding the construction phase, this is not relevant to the assessment of the development, however any approval will be subject to a condition requiring the submission and approval of a construction management plan by the City. The construction management plan will detail how it is proposed to manage the delivery of materials and equipment to the site, the storage of materials and equipment on the site, the parking arrangements for the contractors and subcontractors and any other matters likely to impact on the surrounding properties. The applicant also advises that whilst the project has the same architect as the adjacent development at 35 Mount Street, a different builder will be engaged for the construction of the development.

With respect to the concerns raised regarding the potential movement of the escarpment, any approval should be conditioned to require technical details of the construction methodology as well as a slope stability report, hydrological report and geotechnical report to be submitted to the City for approval prior to applying for a building permit.

Design Advisory Committee

At its meeting held on 6 August 2015, the Design Advisory Committee (DAC) having considered the design of the proposed 8-level residential development advised that it supports the general design and aesthetic quality of the development and in particular:-

- “
1. *supports the proposed variations to the side setback requirements which will not have any adverse impact on the streetscape or local amenity;*
 2. *supports the design and treatment of the ‘winter garden’ balconies, subject to additional details being submitted regarding the type of glass to be used (ensuring a high level of transparency); natural ventilation of the balconies and the installation of blinds or other window furnishings to the balcony glazing not being permitted;*
 3. *supports the encroachment of the ‘winter garden’ balconies into the front setback subject to the balconies being designed and maintained as predominantly transparent structures;*
 4. *considers that the rooftop gardens above the bicycle storage area should be designed so they are capable of supporting significant landscaping and requests that additional details of the proposed landscaping be submitted prior to the application being determined;*
 5. *notes that the car parking levels are visually prominent as viewed from the south and requests additional details of the materials and finishes to the car park screens; and*
 6. *notes that a side boundary wall is proposed adjacent to the driveway and considers that the portion of wall within the front setback area should be removed or redesigned to address sightlines and to reduce the visual intrusion of the wall within the streetscape.”*

Building Design, Materials and Finishes

The applicant advises that the building design includes an ‘exploration of contemporary geometric architecture construed from primary materials such as stone, concrete, metal mesh and glass which is intended to provide a unique modern addition to the Mount Street streetscape’. As noted in the DAC minutes the general design and aesthetic quality of the building is supported subject to further clarification of specific design elements of the building including the treatment of the balconies or ‘winter gardens’, landscaping details for the proposed rooftop garden and the screening to the car park levels. A neighbouring property owner has also raised

concerns regarding the quality of the development which will be discussed in further detail below.

The proposed development includes north and south facing winter-garden living spaces which have been designed with closable balconies allowing use in peak traffic and adverse weather conditions. The DAC advised of its support for the design and treatment of the 'winter garden' balconies, noting the ability of these spaces to be used at all times of the year, subject to additional details being submitted to ensure the balconies remain as light weight structures which cannot be converted into habitable rooms in the future. These details include the type of glazing to be used (ensuring a high level of transparency); natural ventilation of the balconies and the restrictions to the installation of blinds or other window furnishings to the balcony. The applicant has agreed to design the balconies in accordance with the requirements of the DAC including the use of clear glazing to provide a high level of total transparency, louvres and Aneeta "double hung" glazing with breezeway or similar type glass louvers so that the balconies allow for natural crossflow ventilation at all times and window blinds or other window furnishings not being permitted, with this restriction being included in the strata management statement. Final details of the treatment and materials of the balconies should be required as a condition of any approval ensuring the ongoing use of these spaces as outdoor areas.

Some concern has been raised by a neighbouring property owner regarding the quality of materials and finishes proposed for the building. The applicant has confirmed that the apartments will be designed and constructed to a high standard. The building will be constructed and finished with a variety of materials including glazing elements to the front and rear elevations and balconies, smooth and patterned precast concrete panels, feature metal mesh, a glass curtain wall, vertical aluminium louvres and a stone finish to the entrance. These materials are considered to be of an appropriate quality and have been supported by the City's DAC. Notwithstanding the above, any approval can be conditioned to require final details of the high quality and durable materials to be submitted to the City for approval.

With respect to the south-west roof garden above the bicycle storage area, some concern has been raised by the City's DAC in terms of its ability to support significant landscaping and therefore additional details of the proposed landscaping were requested to be submitted prior to the application being determined. In response to the above the applicant has submitted further details, including a rooftop landscape plan, to demonstrate that significant landscaping including planters with trees and dense planting will be provided. The applicant has also confirmed that the roof will be constructed using a load bearing slab with ample drainage points and a suitable waterproof membrane. Notwithstanding, the above final details of the rooftop garden as well as a broader landscaping and reticulation plan for the site should be provided as a condition of any approval.

The City Development Design Guidelines requires car parking areas to be located as an undercroft/basement to the building or towards the rear of the site and to be screened from public view. Given the site's prominent location on the escarpment, the proposed car parking levels to the rear of the site will be visible when viewed from the south and from the adjacent properties, particularly at night. The applicant

has submitted additional details noting that the car park will be designed with automatic closing fire shutters with aluminium “green” powder coated louvres to the exterior. The base of the building and rear ground floor will also be screened with creeper plant species so that the car park blends into the vegetation of the rear escarpment. Whilst the use of landscaping to screen the car parking levels is supported, the establishment of any substantial landscaping in this location could take a number of years, or could fail if not properly maintained. Therefore, the façade treatment to the car parking levels should be designed to ensure that the car parking is effectively and aesthetically screened. Any approval should require final details of the screening and treatment to the car parking levels to be provided to the City for approval.

Building Height

The development proposes a maximum building height of 19 metres which complies with the maximum height requirements stipulated in the City’s Mount Street Design Policy. The subject property is also located within the Outer Precinct of the State Government’s Parliament House Precinct Policy whereby a maximum building height of 34.46 metres AHD applies to the site. The development proposes a maximum building height of 37.35 metres AHD, which is 2.9 metres above the maximum height requirement. Due to the proposed development exceeding the maximum height prescribed by the Parliament House Precinct Policy, the application has been referred to the WAPC for determination under the Metropolitan Region Scheme, as required under the Parliament House Precinct Policy.

The proposed development will be in keeping with the heights of adjacent buildings along Mount Street including Kingsway Apartments at 41-43 Mount Street (19.85 metres), Halo Apartments at 35 Mount Street (19.2 metres) and a recent approval issued for the property directly adjacent at 39A and 39 Mount Street (19 metres). Given the proposed development complies with the maximum height limit prescribed by the Mount Street Design Policy and is consistent with the existing streetscape in terms of height it is recommended that the building height variation to the Parliament House Precinct Policy should be supported by the Council and that the WAPC be advised accordingly.

Setbacks

Within the Residential Use Area of the Mount Street Design Policy area a front setback of 4.5 metres applies. Subject to its level of impact on the streetscape, light open verandahs may be permitted to encroach up to a maximum of 2 metres into the setback area. The development is generally in accordance with the front setback provisions however balconies or ‘winter gardens’ are proposed to encroach within the 4.5 metre front setback area (3 metre setback proposed). Although the balconies can be enclosed through the use of Aneeta slider or operable double hung windows and operable glass shutters, provided they are designed with transparent and frameless glazing it is considered that the balconies will appear as lightweight additions to the building and will not result in an adverse impact to the streetscape. Final details of the design of the balconies ensuring they remain open with no internal window treatments should be required as a condition of any approval, consistent with the DAC advice.

In order to provide vistas between buildings the Mount Street Design Policy requires a minimum three metre setback to be provided to all side boundaries. The development proposes varying side setbacks including a 2.9 - 3.1 metre side setback to the ground floor level of the north-east boundary and a 2.2 – 3.1 metre side setback from the first to fifth floor levels. Approximately 75 per cent of the north east elevation of the building will comply with the 3 metre setback required by the Mount Street Design Policy. In addition to this all of the full height windows to habitable rooms will be setback 3 metres from the north-east boundary ensuring an appropriate level of privacy for the residents of the proposed development and the adjacent development is achieved. The adjacent building is setback 3 metres from the south-western boundary, resulting in a minimum separation distance of 5.2 metres between the two buildings. The separation distance between the two buildings is considered to be adequate in terms of maintaining vistas, as intended in the Mount Street Design Policy.

In regards to the south-west side setback, the portion of the site abutting 39 and 39A Mount Street includes a varying setback of 2.5 to 3.2 metres to the ground floor level and 2.2 to 3 metres from the first to fifth floor levels. As with the north-east elevation, the full height windows to the habitable rooms will be setback 3 metres from the side boundary ensuring an appropriate level of privacy to the residents of the proposed development and the approved, but yet to be constructed, development on the adjacent property at 39 and 39A Mount Street is achieved. Given the L-shaped configuration of the lot there is also a portion of the building that will extend behind the adjacent site at 39 and 39A Mount Street with a nil side setback to 41-43 Mount Street. This portion of the building will contain two levels of basement car parking, situated below the ground level on Mount Street, with a bicycle storage and servicing level above. The single storey height of the building to the rear will ensure vistas from Mount Street are maintained and will not have any adverse impacts in terms of a loss of privacy to the adjacent property at 41-43 Mount Street. This portion of the building is also proposed to contain a landscaped roof deck above, potentially for use by the future residents at 39 and 39A Mount Street.

Some concerns have been raised by the neighbouring property owners to the rear at 112 Mounts Bay Road in terms of the development's impact on privacy, daylight and overshadowing. The proposed development will however, comply with the rear setback requirements outlined in the Mount Street Design Policy. Furthermore the subject site is significantly setback from the development to the rear (17 metres and over) and therefore it is unlikely that there will be any undue adverse amenity impacts in terms of a loss in privacy and daylight or overshadowing to this property. This is further supported by the overshadowing diagrams supplied by the applicant, which demonstrates that the development will have a very little impact on the property to the rear at 112 Mounts Bay Road.

The City's DAC supported the proposed variations to the side setback requirements, noting the variations will not have any adverse impact on the streetscape or local amenity. Based on the above it is considered that the proposed variations to the front and side setback requirements will result in a development which meets the objectives outlined in the Mount Street Policy and can be supported in accordance with clause 47 of CPS2.

Conclusion

The proposed development is consistent with the existing and approved height and scale of buildings along Mount Street. It is considered that the proposed variations to the setback provisions will not result in any undue adverse amenity impacts to the streetscape or to the privacy of the neighbouring properties and can be supported in accordance with clause 47 of CPS2. In relation to the specific design concerns raised by the City's Officers, the DAC and neighbouring residents, it is considered that the applicant has adequately addressed the elements relating to the design and treatment of the balconies or 'winter gardens' and the rooftop garden, with further refinement of the car park screening being required as a condition of any approval. Based on the above it is recommended that the proposed 8-level residential development containing 21 multiple dwellings and 32 car parking bays should be approved.



2015/5218: 37A-37C MOUNT STREET, WEST PERTH



15/5218 - 37A-37C MOUNT STREET, WEST PERTH (PERSPECTIVE 1)



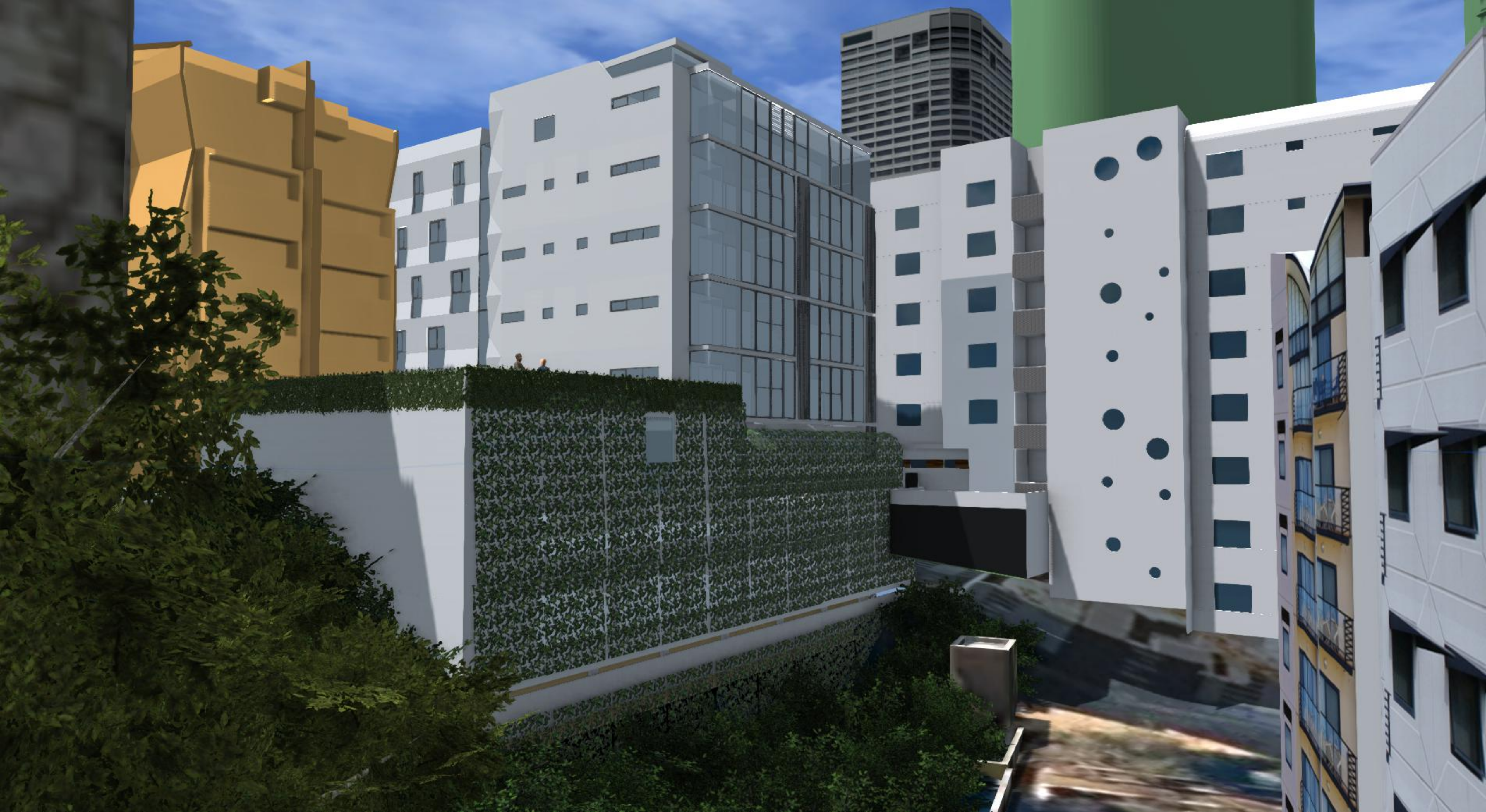
15/5218 - 37A-37C MOUNT STREET, WEST PERTH (PERSPECTIVE 2)











ITEM NO: 2

1 (LOT 505) NELSON AVENUE, EAST PERTH – PROPOSED SWAN RIVER PEDESTRIAN BRIDGE, BRIDGE RAMP, FORESHORE PUBLIC SPACE AND TEMPORARY SPECIAL EVENTS BUS STANDS

RECOMMENDATION:

ADVICE TO METROPOLITAN REDEVELOPMENT AUTHORITY

That Council advises the Metropolitan Redevelopment Authority that it:

- 1. supports the proposed Swan River Pedestrian Bridge, noting its strategic significance to the wider Perth metropolitan area and primary function of providing public pedestrian access/egress to the future Perth Stadium and that its proposed location and orientation aligns with previous Council resolutions;***
- 2. supports the associated bridge ramp, foreshore public space and temporary special events bus stands conditional upon:***
 - 2.1 the provision to the City of:***
 - a. sufficient modelling and supporting documentation justifying the need and the nexus for the proposed infrastructure associated with the pedestrian bridge;***
 - b. design and technical documentation evidencing how the long-term impact the proposed infrastructure will have on the existing foreshore area and the proposed loss of vegetation and environmental values will be minimised; and***
 - c. operational measures and commitments to mitigate against impacts on the East Perth locality related to noise, traffic and amenity;***
 - 2.2 the commitment to a process of working with the City to achieve completed schematic designs before determination of this development application by the Metropolitan Redevelopment Authority.***

(Cont'd)

3. ***recommends that, should an approval be granted by the Metropolitan Redevelopment Authority for the Swan River Pedestrian Bridge, bridge ramp, foreshore public space and temporary special events bus stands, the approval be subject to the following conditions and advice notes:***

Technical Reports

3.1 *the following technical reports being prepared and all relevant recommendations contained therein being implemented into the final design of the development, to the satisfaction of the City prior to the commencement of works:*

- a. *a traffic impact assessment that considers proposed future surrounding developments and the draft State Government Central Area Transport Plan;***
- b. *a road safety audit report;***
- c. *pedestrian modelling;***
- d. *a transport assessment inclusive of public transport options and locations and operations for a taxi rank and private vehicle drop off / pick up facilities;***
- e. *acoustic report detailing and mitigating impacts arising from stadium operations, crowd movements across the bridge and bridge audio in accordance with the Environmental Protection (Noise) Regulations 1997;***
- f. *acoustic report assessing and mitigating the noise impact arising from increased bus movements along the proposed special bus route through the East Perth locality;***
- g. *independent environment audit report, approved by the Department for Environment Regulation and management plans prepared under the Perth Stadium Environmental Management Strategy;***
- h. *drainage strategy report and stormwater drainage design report, detailing connection to and upgrade of existing City stormwater drainage systems, sufficient for the capacity and treatment of stormwater, pollution prevention and flood alleviation;***

(Cont'd)

- i. Closed-circuit Television (CCTV) consultant reports including provision for connectivity with the City's infrastructure; and*
- j. place activation strategy for the event day bus stand on event days;*

Urban Design and Infrastructure

3.2 the following design matters being addressed to the satisfaction of the City, prior to the commencement of works:

- a. resolution of the design of the western bridge landing under-croft to clarify the interface between the bridge, the foreshore and the associated carriageway/s, including minimising the visual impact to achieve a positive aesthetic and reduced visual intrusion when viewed from Nile Street/Nelson Avenue and from the Swan River;*
- b. all drainage, roads, footpaths, verges and kerbs, paved and landscaped areas, public realm furniture, lighting and other features in the public realm being designed and constructed in accordance with the City of Perth Design and Construction Notes, specifications and applicable Australian Standards, with any proposed variations or alternative designs being designed in consultation with the City;*
- c. independent structural certification for all structural elements;*
- d. the shared path being designed and constructed with a minimum width of 3 metres, to integrate with the broader City cycle network and to align with the City of Perth Cycle Plan, inclusive of user advisory signage;*
- e. way-finding signage at the development site's pedestrian crossings, including maps and orientation;*
- f. CCTV infrastructure being incorporated into the development's pedestrian crossing/s, capable of integration into the City's existing CCTV network;*

(Cont'd)

- g. provision of public toilet facilities, utility services and waste bins sufficient to service the proposed use of the development, inclusive of the activation strategy; and**
- h. anti-graffiti coatings applied to all accessible surfaces and the product and supplier details being approved by the City prior to application;**

Environmental/Landscaping Design and Management

3.3. a landscape design and management plan being prepared and submitted to the City for approval prior to the commencement of works, detailing:

- a. maximised retention of existing trees and any removal of existing trees being offset by replacement trees providing an increased tree canopy volume;**
- b. management of the impact of construction and maintenance on the long term health and amenity of retained mature trees within the site and on the adjacent public realm including the root zone and canopy;**
- c. the species and size/maturity of all soft landscaping to minimise damage to plants from the impact of public access;**
- d. root control measures to be included for all new or transplanted trees;**
- e. stabilisation of all gravel and loose materials**
- f. soil, tree/plant selection and mix, and irrigation regime suitability with the various micro local environments;**
- g. irrigation and water supply plans, including connections with existing City irrigation systems;**
- h. additional taps and watering points required to be provided to allow for hand watering independently of the irrigation system;**
- i. green waste generation and disposal volumes;**
- j. containment of landscaping contaminants and litter from entering the River; and**
- k. two year landscape defect liability period commencing at the last installed or replacement date of specific plantings, with a further 12 month maintenance period applicable;**

(Cont'd)

3.4 the river wall/revetment and timber deck infrastructure being designed and constructed:

- a. **without the use of gabion baskets;**
- b. **with timber decks and all other infrastructure being independent of the river wall / revetment structure;**
- c. **in granite rock if a revetment;**
- d. **to be integrated with the Waterbank development to achieve consistent foreshore infrastructure;**
- e. **with the northern end point transitioning gradually with the existing river foreshore;**
- f. **to be certified by an independent qualified marine engineer's report, providing a long term management plan;**
- g. **with an impact assessment for over topping of the wall, tidal action and settlement rates; and**
- h. **with the method of access for maintenance of the river wall / revetment to be from the landward side not the river;**

Construction Management/Staging

3.5 a construction management and staging plan for the proposed works being submitted and approved by the City prior to any works commencing on site, detailing:

- a. **a dilapidation report and management plans for the protection of existing City assets during construction;**
- b. **matters identified in the environment assessment reports and how environmental issues will be managed on site;**
- c. **traffic management for vehicle, cycle and pedestrian access and movement through and/or around the development area, including the method of maintaining trafficability of the shared path and road throughout the construction works;**
- d. **site delivery, storage and stock piling of clean fill, materials, equipment and machinery;**
- e. **on-site treatment, stock piling and removal of excavated materials including truck routes, wash down area for site vehicles, queuing and parking;**
- f. **dewatering, filtration, settlement and management of impacts on surrounding sites;**

(Cont'd)

- g. noise, vibration and dust management plans;*
- h. regular street cleaning program;*
- i. waste management plan (general, site and hazardous waste);*
- j. site parking arrangements for contractors and subcontractors; and*
- k. any other matters likely to impact on the surrounding properties and public areas;*

Operational and Event Management

3.6 an Operational and Event Management Plan specific to event categories, including risk assessment and mitigation measures being prepared and implemented to the satisfaction of the City, including:

- a. public realm protection, crowd control and capacity management;*
- b. compliance with environmental and public health legislation;*
- c. public safety and security on event days and non-event days, including incident response;*
- d. traffic and pedestrian management plans, inclusive of movement from the Swan River Pedestrian landing, the bus stand, connections with other destinations and method of maintaining safe passage of shared path users on event days;*
- e. the method of transporting, installing, removing and storing the proposed temporary corralling system for the event bus stand;*
- f. justification for and details of the method of closing the western landing stairs and management of public safety;*
- g. the method of preventing vehicle access to the bridge other than for maintenance and emergencies;*
- h. set up and servicing management plans for events;*
- i. waste management, cleaning, servicing, repairs and maintenance;*
- j. emergency management plans; and*

(Cont'd)

- k. method and frequency for regular communications with impacted residents and businesses providing advance notice of the events schedule, dates and times, including contact details for additional information and complaints resolution;**

Land Tenure/Reservations

- 3.7 all land on which public assets are located which are not proposed to be transferred to the City of Perth, being excised from land vested in the City and thereafter vested in the responsible agency, to ensure clarity of responsibility for the future care, control and management of those assets;**

Design Compliance Advice Notes

- 3.8 the following standards, policies and guidelines being considered and integrated into the design and construction of the development:**
 - a. State Planning Policy 2.10 – Swan-Canning River System;**
 - b. Designing Out Crime Planning Guidelines;**
 - c. Safe Design of Structures Code of Practice (2012);**
 - d. Australian Standard 1428 - Design for Access and Mobility;**
 - e. Australian Human Rights Advisory note on streetscape, public outdoor areas, fixtures, fittings and furniture (February 2013); and**
 - f. Australian Standard 4970 - Protection of Trees on Development Sites;**

- 4. recommends that the Metropolitan Redevelopment Authority undertakes a review of the associated Riverside Development Contribution Plan to allocate funds for the construction of consistent revetments/river walls and shared path facilities to connect the development site with the future Waterbank precinct to the south;**

(Cont'd)

5. ***recommends that the State Government establish and facilitate an operational reference group, meeting on an ongoing basis (not less than quarterly), to provide input to the operational management of the new Perth Stadium's impact on surrounding communities and to identify and resolve issues as they arise, with membership comprising as a minimum, the Stadium Operator, Venues West, City of Perth, Town of Victoria Park, City of Vincent, City of Belmont, East Perth Resident and Business Representatives, WA Police, Department of Transport, Public Transport Authority, Main Roads WA and key Stadium User Groups.***

BACKGROUND:

SUBURB/LOCATION: 1 Nelson Avenue, East Perth
FILE REFERENCE: DA-2015/5271
REPORTING UNIT: Development Approvals
RESPONSIBLE DIRECTORATE: Planning and Development
DATE: 17 August 2015
MAP / SCHEDULE: Schedule 2 - Map and coloured perspectives
3D MODEL PRESENTATION: A 3D Model for this application will not be available at the Committee meeting.

LANDOWNER: Metropolitan Redevelopment Authority
APPLICANT: Department of Treasury
ZONING: (MRS Zone) Redevelopment Scheme/Act Area
(City Planning Scheme Precinct) East Perth (P15)
(City Planning Scheme Use Area) N/A
APPROXIMATE COST: Not applicable

SITE HISTORY:

At its meeting held on **13 March 2012**, Council resolved to note the State Government's decision to locate the stadium on the northern part of the Burswood Park Golf Course on the Burswood Peninsula. The City also noted that the plans for the Stadium included an additional access bridge from the Burswood Peninsula to East Perth.

Following this, Council at its meeting held on **20 November 2012** considered the stadium proposal in its broader context and the potential implications for East Perth and the City. More detailed consideration was given to the proposed pedestrian bridge from the stadium to the land immediately south of Nile Street in East Perth, and the implications to the area and surrounds including infrastructure and ongoing maintenance. Council ultimately resolved to:

“Advise the Premier and Ministers for Transport, Sport and Recreation and Planning in relation to the proposed Perth Stadium, Burswood, that:

- 1. the planning for the stadium needs to occur within an integrated and co-ordinated strategic planning and transport approach for the eastern area of the city and surrounds, as opposed to a project by project approach;*
- 2. a detailed traffic impact statement must form part of the Transport Master Plan;*
- 3. stadium patrons using the proposed pedestrian bridge, and the associated vehicular and shuttle bus parking and pedestrian and vehicular traffic generated, are likely to detrimentally impact on the amenity of the local community of East Perth, and this important issue must be addressed as part of the Transport Master Plan;*
- 4. decisions on the proposed pedestrian bridge must include resolution of governance and capital and operational funding related to the proposed bridge, and associated infrastructure and services within the adjoining areas required to facilitate ongoing access to the proposed pedestrian bridge, as the City has no funding allocated for these purposes in its five year planning;*
- 5. the proposed pedestrian footbridge should be designed to direct pedestrian traffic away from the East Perth Residential area and toward the Riverside Development;*
- 6. the ongoing event management plans involving use of the proposed pedestrian bridge need to be developed with early consultation with the community and the City of Perth; and*
- 7. the planning and design of the proposed pedestrian bridge and bus drop-off area must include consideration of the design treatment of the river edge along this section of the Swan River, including erosion control and long term asset planning, and incorporate the existing shared path along the foreshore.”*

DETAILS:

The Swan River Pedestrian Bridge has been proposed as part of an overall Transport Infrastructure Strategy developed by the Public Transport Authority (PTA) and endorsed by the State Government to support the new Perth Stadium Project. The proposed development area is located within and adjacent to the Swan River, bounded by the Nelson Avenue foreshore in East Perth and the new Perth Stadium Precinct on the Burswood Peninsula. The eastern landing area of the bridge and the fourth bridge pier are located within the new Perth Stadium Precinct and were included in the Management Plan for the new Perth Stadium Precinct endorsed by the WAPC in August 2014.

The proposed development generally comprises the pedestrian bridge structure, the western bridge ramp, the foreshore public space and the Nelson Avenue Special Events Bus Stand. Specific details of each component are included in the attachments to this report and are summarised as follows:

Pedestrian Bridge

- Entire length of the bridge is 560 metres, of which approximately 370 metres spans the Swan River;

- The bridge is a cable-stay structure with three bifurcated structural arches. The central arch is approximately 65 metres above the water level, and the lower arches are approximately 30 metres above the water level;
- The bridge incorporates a 160 metre main span which accommodates the required navigation channel, with a clearance of approximately 6.9 metres (at 100 ARI event level), between the river and the underside of the bridge structure;
- Four piers support the bridge, with only two of the piers intruding into the river; and
- The bridge deck incorporates a minimum 9 metre clear width path, with an overall width of 12 metres including the balustrading and includes vegetated pause areas with seating and shelter where the bridge deck expands to approximately 18 metres wide.

Western Bridge Ramp

- The ramp will serve as the transition between the main bridge structure and the Nelson Avenue public foreshore area and is orientated to direct pedestrians southwards along Nelson Avenue to minimise disturbance to residents in the redeveloped East Perth residential area;
- The ramp is to be constructed of concrete and extend for approximately 100 metres along the foreshore. A staircase extending north from the ramp structure is proposed to provide a shorter access to the bridge on non-Game Day however it will remain closed on Game Day;
- The ramp will be setback (approximately) between 10 to 18 metres from the Swan River. The setback is intended to allow for the alignment of the existing shared use path between the ramp and the river;
- A setback of approximately three metres is proposed between the bridge ramp and the Nelson Avenue carriageway in order to accommodate minor road modifications at this location and mitigate the need for the installation of crash barriers between the road and the bridge structure; and
- The eastern and western elevations of the bridge ramp provide opportunities to incorporate seating, public art or “green walls” to soften and add interest to these areas. This is to be developed further during the detailed design phase of the project.

Foreshore Public Space

- The foreshore area between the Swan River, the bridge ramp and Nelson Avenue is proposed as a public space which functions on Game Day as a pedestrian assembly area and temporary special events bus stand;
- Its design is anticipated to create a sense of place on non-Game Days by integrating paving, landscaping, art, shade and street furniture;
- The river bank is proposed to be stabilised and enhanced with use of a riverbank wall constructed of stone, with limestone and/or granite with final design details to be determined in liaison with the Department of Parks and Wildlife (DPAW) and the City of Perth. The river wall structure is proposed to incorporate two timber observation decks with seating; and

- Proposed works within the foreshore area have identified the requirement to remove a number of existing trees. An associated Landscape Management Plan has been prepared in support of the proposal and seeks to retain as much of the existing vegetation as possible in addition to extensive re-planting.

Special Events Bus Stand

- Transperth Special Events buses are proposed to be accommodated within the Nelson Avenue carriageway;
- The bus stand will incorporate 8 bus embayments, each 20 metres in length and approximately 3.2 metres wide to accommodate standard bus dimensions;
- The embayments are to accommodate non-Game Day on-street public parking as currently exists on Nelson Avenue; and
- A temporary pedestrian corralling area is to be installed adjacent to the temporary Special Events bus stands adjacent to Nelson Avenue for use on Game Days only.

LEGISLATION / POLICY:

Legislation	<i>Metropolitan Redevelopment Authority Act 2011</i> Metropolitan Redevelopment Authority's Central Perth Redevelopment Scheme
Policy	Metropolitan Redevelopment Authority 's Riverside Master Plan 2008

COMMENTS:

The proposal is subject to different planning regimes and therefore requires separate development approvals to be obtained from the:

- Metropolitan Redevelopment Authority (MRA) for the western portion of the bridge within the river (approximately 30 metres), one bridge pier, the bridge ramp and the Nelson Avenue foreshore public space including the temporary Special Events Bus Stands; and
- Western Australian Planning Commission (WAPC) for the major portion of the bridge over the river (approximately 340 metres), and two bridge piers (this portion being outside the City's boundaries).

As outlined above the MRA has the responsibility of determining the development application for a specific portion of the proposed bridge development, on advice of the City and other stakeholders. The Council's role in this regard is to provide a recommendation and draft conditions (if required) to the MRA for its consideration prior to determination. The importance of Council's role in this process is paramount given the City has been in on-going negotiations with East Perth residents and businesses in terms of the potential impacts of the proposed bridge and will also be the ultimate recipient and custodian of some of the public domain areas. The City is not required to provide advice to the WAPC in this case given its responsibility is limited to the area outside of the City's boundaries.

The requirement for, location and orientation of the pedestrian bridge has previously been considered by Council and the current bridge design has taken into account the Council's previous comments. The aesthetic quality of the bridge structure is supported given it has achieved a sound balance of form and function. Its design is befitting of its location within the Swan River and its role as a high-profile signature piece of public infrastructure.

The associated infrastructure of the bridge landing, public foreshore area and bus stand area have not previously been considered by the Council and are subject to assessment and review. As the development application lacks specific design detail and documentation to support the concepts, it is difficult to assess the full extent of the proposal's impact on the immediate and surrounding locality. City officers consider that in particular, a lack of up-to-date pedestrian and traffic modelling and supporting strategic and technical reports severely limits the assessment of the proposal.

It is therefore recommended that Council provide its conditional support for the associated bridge ramp, foreshore public space and temporary special events bus stands pending the provision of:

- sufficient modelling and supporting documentation justifying the need and the nexus for the proposed infrastructure associated with the pedestrian bridge;
- design and technical documentation evidencing how the detrimental long-term impact the proposed infrastructure will have on the existing foreshore area and the proposed loss of vegetation and environmental values will be minimised; and
- operational measures and commitments for the management of ongoing negative impacts of the proposed developments on the East Perth locality to mitigate against associated impacts related to noise, traffic and amenity.

Council's conditional support is further based upon the new Perth Stadium State Government project team's (via the Swan River Pedestrian Bridge Working Group) commitment to a design development process for the foreshore infrastructure to occur in close consultation with the City to enable final designs to be achieved prior to the MRA determining the development application.

The City's Officers have assessed the proposed development application in the context of the State Government's guiding documents and balanced consideration of its role as the future responsible authority for the public foreshore area and temporary bus stand. The following issues have been identified and are recommended to be considered as part of any determination by the MRA.

Technical Reports

As outlined previously, it is considered that the level of modelling and assessment undertaken to influence the design of the development is not adequate given the scale and wider impact of the proposal. In particular, additional traffic, pedestrian,

public transport, acoustic, drainage, CCTV and place activation assessments and strategies should be undertaken prior to the commencement of development works. It is important to note that each of the technical reports should not only assess the current and/or future scenarios but must also include clear recommendations and implementation measures to mitigate and minimise any negative impacts of the development.

Urban Design and Infrastructure

The design of the bridge landing/ramp in particular remains unresolved due to inconsistencies in the plans and reports submitted in support of the application. This structure will create a significant visual barrier along the foreshore for a distance of almost 100 metres. Detailed and consistent elevations of the structure have not been provided. The visual impact of the ramp should be minimised from all views and especially from the Swan River and Nile Street/Nelson Avenue. Other design and infrastructure matters recommended to be addressed prior to the commencement of construction works include details of the final design, materials and finishes, compliance with the City's Design and Construction Notes, structural certification for all structural elements, shared path dimensions, provision of CCTV infrastructure and anti-graffiti measures.

Noting the isolated location of the bridge landing area, it is also recommended that appropriate way-finding signage be implemented into its design. In addition, the provision of suitable public toilets, utility services and waste bins are important considerations given an estimated 14,300 pedestrians are expected to use the bridge on major event days. The undefined nature of the use of the foreshore area on non-event days also needs to be factored into the level of service provision to ensure it is robust enough to cater for any future activation or event.

Environmental/Landscaping Design and Management

The proposed conversion of the existing vegetated and grassed foreshore area into a hard paved zone raises a number of environmental design and management concerns. In particular, the retention and management of existing trees, provision of irrigation measures and containment of contaminants and litter run-off will need to be considered and integrated into the final design of the development.

The development proposes the construction of a river wall/revetment along the adjacent section of foreshore. The City does not support the use of gabion baskets in association with the river wall/revetment given the likelihood of failure and an alternative form of sub-surface containment is recommended. Maintenance considerations and the integration of the proposed river wall/revetments with the foreshore areas to the north and south of the development area will also need to be addressed.

In this regard the preparation and implementation of a landscape design and management plan addressing the above prior to the commencement of works is recommended.

Construction Management/Staging

Consistent with all major development and infrastructure projects, the management and staging of construction is an important consideration in ensuring impacts are mitigated or minimised on the surrounding locality. It is therefore recommended a comprehensive construction management and staging plan be prepared and implemented to address matters such as dilapidation, environmental issues, fencing/hoarding, traffic management, foreshore/shared path access for cyclists and pedestrians, storage and laydown of construction materials, off-site impacts (noise, dust etc.) and waste.

Operational Management

The application includes limited information in relation to the proposed management of the Perth Stadium operations on event days. Although it is noted only a portion of the public attending the stadium will use the pedestrian bridge and associated infrastructure, measures will need to be formulated and implemented to ensure the impacts to nearby residents in particular are minimised. In this regard, a comprehensive operational and event management plan for the Stadium precinct and specific to event categories, is recommended to be developed in consultation with the City, including risk assessment and mitigation measures. Matters such as public realm protection, public safety, set-up and servicing, waste management, emergency management and communications are required to be addressed. It is also recommended that an operational reference group be established with all key stakeholders to ensure appropriate input into the preparation and ongoing implementation of the plan and associated operations of the Perth Stadium.

Land Tenure

The City understands that Main Roads Western Australia will retain the ownership and management of the pedestrian bridge structure and western bridge ramp. Whilst the public foreshore (including future river wall/revetment) and bus stand areas will ultimately be transferred to the City for ongoing care and management. As such it is recommended that a condition be placed on any approval issued by the MRA requiring land on which public assets are located which are not proposed to be transferred to the City, be excised from land vested in the City and thereafter vested in the responsible agency. This will ensure clarity of responsibility for the future care, control and management of the transferred and non-transferred assets.

Design Compliance and Considerations

In recognition of the significance of the development and the projected volume of pedestrians anticipated to use the proposed bridge and the associated infrastructure, it is considered appropriate to ensure its design and construction accords with state and national standards, policies and guidelines. Ideally, the development application would have addressed matters such as the designs compliance with the WAPC's Statement of Planning Policy 2.10 – Swan-Canning River System in relation to given its location along the foreshore. Matters relating to overall design safety and security, universal access and vegetation should also be considered and integrated into the final detailed design of the various components of the development.

Development Contributions

It is noted that there is approximately 400 metres distance between the southern extent of the proposed foreshore public space area and the northern most point of the future Waterbank development. Given both the subject development and the future Waterbank project includes significant foreshore works inclusive of river walls and/or revetments, opportunity exists for a consistent and cohesive approach to the treatment of the foreshore 'link' between the two developments. It is therefore recommended that the MRA undertakes a timely review of the associated Riverside Development Contribution Plan to allocate funds for the construction of consistent revetments/river walls and shared path facilities to connect the development site with the future Waterbank precinct to the south.

Conclusion

The significance and requirement for the proposed Perth Stadium Pedestrian Bridge is acknowledged and accepted by the City in the context of the future Perth Stadium Project. This report has therefore focussed on the associated infrastructure of the bridge landing, public foreshore area and bus stand area.

It is considered that, at this stage, the full extent of the proposal's impact on the immediate and surrounding locality is difficult to assess with any level of certainty. In recognition of the project's status and significance it is recommended that Council provide its support for the associated infrastructure conditional upon further refinement the design in close consultation with the City together with the provision of sufficient modelling and justification, and commitments to minimise the long-term impact on the existing foreshore area and the wider impacts of the proposed developments on the East Perth locality.

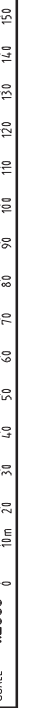
Attachment A - Planning Boundaries

METROPOLITAN REDEVELOPMENT
AUTHORITY
3 JUL 2015
RECEIVED

**NEW PERTH STADIUM
PRECINCT**



SCHEDULE 2



SCALE 1:2000
MICROFORM DATE
A 3

No.	DESCRIPTION	APPROVED & DATE	No.	DESCRIPTION	APPROVED & DATE
	AMENDMENTS			AMENDMENTS	

LEGEND

CADASTRAL BDY	
APPLICATION SITE (MRA)	
APPLICATION SITE (WAPC)	

METADATA

GROUND SURVEY STANDARD:
DATE OF CAPTURE:
MAPPING SURVEY STANDARD:
DATE OF CAPTURE:
MAIN ROADS PROJECT ZONE: PCG94
HEIGHT DATUM: AHD

mainroads
WESTERN AUSTRALIA

MAJOR PROJECTS
Waterloo Crescent East Perth 6202
Telephone (08) 9323 4111 Fax (08) 9323 4430

SWAN RIVER PEDESTRIAN BRIDGE
JURISDICTION APPLICATION AREAS
LOCAL AUTHORITY (129) TOWN OF VICTORIA PARK

DESIGNED	VERIFIED
DRAWN MT ROADSWEST (JULY '15)	APPROVED
FILE NUMBER	
DRAWING NUMBER 201444-JURISDICTIONS	AMENDMENT

METROPOLITAN REDEVELOPMENT
 AUTHORITY
 3 JUL 2015
RECEIVED



METADATA

A DEVELOPED CONCEPT DESIGN (15%)		26/06/2015	GROUND SURVEY STANDARD
No	DESCRIPTION	APPROVED & DATE	DATE OF CAPTURE:
	AMENDMENTS		MAPPING SURVEY STANDARD:
			DATE OF CAPTURE:
			MAIN ROADS PROJECT ZONE:
			HEIGHT DATUM:

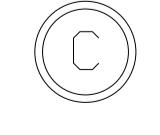
**DENTON
 CORKER
 MARSHALL**

DRAWN	JS
DESIGNED	AS JS
CHECKED	JC TR
APPROVED	GG
DRAWING PATH	

Design
 Verification



YORK
**RIZZANI
 DE ECCHER**



mainroads
 WESTERN AUSTRALIA
 INFRASTRUCTURE DELIVERY DIRECTORATE

VERIFIED	
DATE	28/06/2015

CONTRACT MANAGER	
PROJECT DIRECTOR	

DATE	
PROJECT DIRECTOR	

LOCAL AUTHORITY	MAIN ROADS RESPONSIBILITY AREA
MRIA DRAWING NUMBER 201544-0601	
PROJECT TITLE SWAN RIVER PEDESTRIAN BRIDGE	
DRAWING TITLE SITE AERIAL VIEW	
DATE	
DRAWING STATUS	PRELIMINARY
DRAWING No.	SRPB-001-DRG-AR-0012
SHEET	00
REV	A

METROPOLITAN REDEVELOPMENT
AUTHORITY
3 JUL 2015
RECEIVED



01 NORTH ELEVATION RENDER
- 1:1500 @ A3



02 SOUTH ELEVATION RENDER
- 1:1500 @ A3

01 ISSUED FOR TENDER		07/10/2014	METADATA		<p>DENTON CORKER MARSHALL</p>	<p>DRAWN: KM</p> <p>DESIGNED: MP</p> <p>CHECKED: NB</p> <p>APPROVED: GG</p> <p>DRAWING PATH:</p>	<p>Design Verification</p> <p>DV Details</p>	<p>YORK RIZZANI DE ECCHER</p> <p>Telephone</p>	<p>Government of Western Australia</p> <p>mainroads WESTERN AUSTRALIA</p> <p>INFRASTRUCTURE DELIVERY DIRECTORATE</p>	<p>LOCAL AUTHORITY</p> <p>MAN ROADS RESPONSIBILITY AREA</p> <p>MIRA DRAWING NUMBER</p> <p>PROJECT TITLE SWAN RIVER PEDESTRIAN BRIDGE</p> <p>DRAWING TITLE SITE ELEVATIONS</p>	<p>SHEET 01</p> <p>REV 01</p>	
No	DESCRIPTION	APPROVED & DATE	GROUND SURVEY STANDARD	DATE OF CAPTURE		VERIFIED	CONTRACT MANAGER	DATE	CONTRACT MANAGER	DATE	DRAWING STATUS	DRAWING No
	AMENDMENTS		MAPPING SURVEY STANDARD	DATE OF CAPTURE		DATE	PROJECT DIRECTOR	DATE	PROJECT DIRECTOR	DATE	SRPB-001-DRG-AR-1502	

METROPOLITAN REDEVELOPMENT
 AUTHORITY
 3 JUL 2015
RECEIVED



REFER TO SPECIFICATION FOR MATERIALS CODE

04	ISSUED FOR TENDER	07/10/2014
No	DESCRIPTION	APPROVED & DATE
	AMENDMENTS	

METADATA	
GROUND SURVEY STANDARD:	
DATE OF CAPTURE:	
MAPPING SURVEY STANDARD:	
DATE OF CAPTURE:	
MAIN ROADS PROJECT ZONE:	
HEIGHT DATUM:	

**DENTON
 CORKER
 MARSHALL**

DRAWN	KM
DESIGNED	MP
CHECKED	NB
APPROVED	GG
DRAWING PATH	

Design
 Verification



YORK
**RIZZANI
 DE ECCHER**



Telephone



Government of
 Western Australia



INFRASTRUCTURE DELIVERY DIRECTORATE

VERIFIED	
DATE	

CONTRACT MANAGER	
PROJECT DIRECTOR	

DATE	
------	--

CONTRACT MANAGER	
PROJECT DIRECTOR	

DATE	
------	--

DRAWING STATUS	
----------------	--

LOCAL AUTHORITY	MAIN ROADS RESPONSIBILITY AREA
MIRBA DRAWING NUMBER	
PROJECT TITLE SWAN RIVER PEDESTRIAN BRIDGE	
DRAWING TITLE PERSPECTIVE - VIEW FROM BUS STAND AREA	
DRAWING STATUS	DRAWING No. SRPB-001-DRG-AR-4101
SHEET 1	REV 04




REFER TO SPECIFICATION FOR MATERIALS CODE

04	ISSUED FOR TENDER	07/10/2014
No	DESCRIPTION	APPROVED & DATE
	AMENDMENTS	

METADATA	
GROUND SURVEY STANDARD	
DATE OF CAPTURE:	
MAPPING SURVEY STANDARD:	
DATE OF CAPTURE:	
MAIN ROADS PROJECT ZONE:	
HEIGHT DATUM:	

**DENTON
CORKER
MARSHALL**

DRAWN	KM
DESIGNED	MP
CHECKED	NB
APPROVED	GG
DRAWING PATH	

**Design
Verification** 

**YORK
RIZZANI
DE ECCHER**

 Telephone

 **mainroads**
WESTERN AUSTRALIA
INFRASTRUCTURE DELIVERY DIRECTORATE

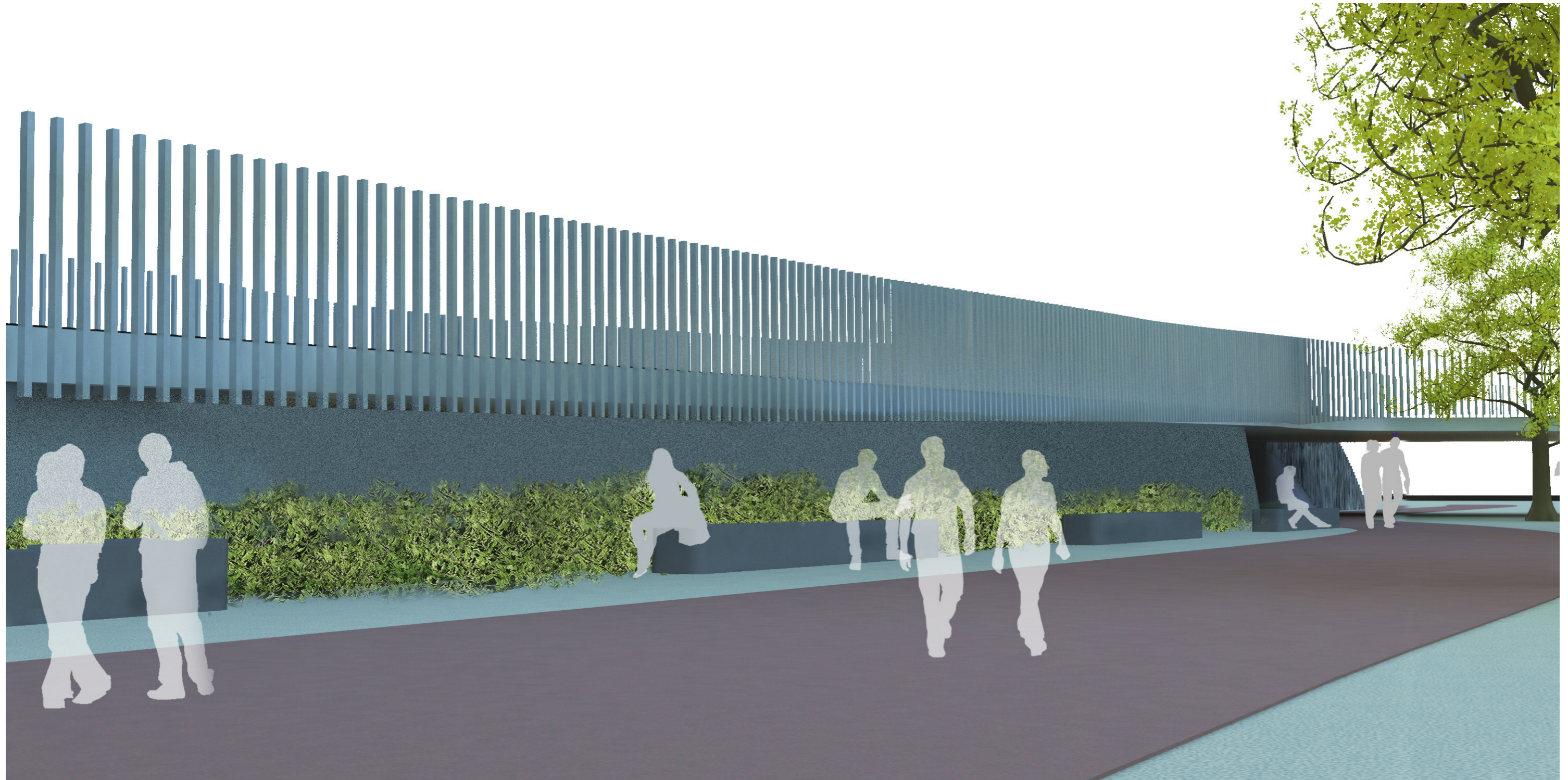
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MIRWA DRAWING NUMBER	
PROJECT TITLE SWAN RIVER PEDESTRIAN BRIDGE	
DRAWING TITLE PERSPECTIVE - VIEW FROM EASTERN FORESHORE	
DATE	DRAWING STATUS
CONTRACT MANAGER	DRAWING No
PROJECT DIRECTOR	SRPB-001-DRG-AR-4102
DATE	DATE
	SHEET 1
	REV 04

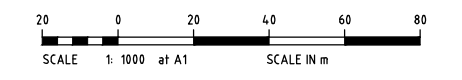
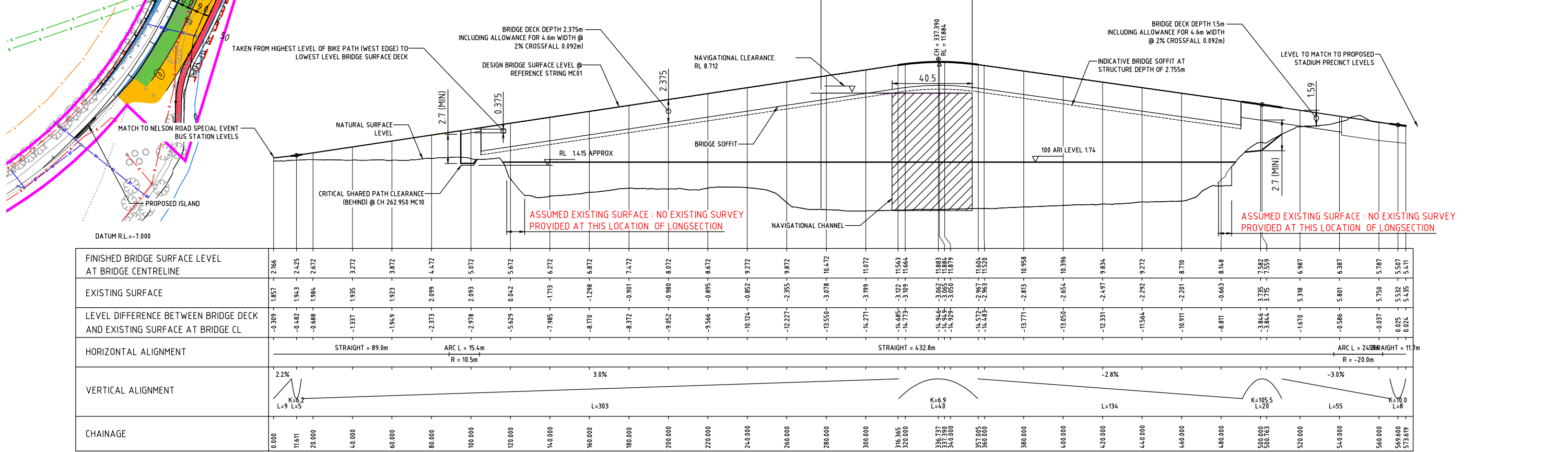
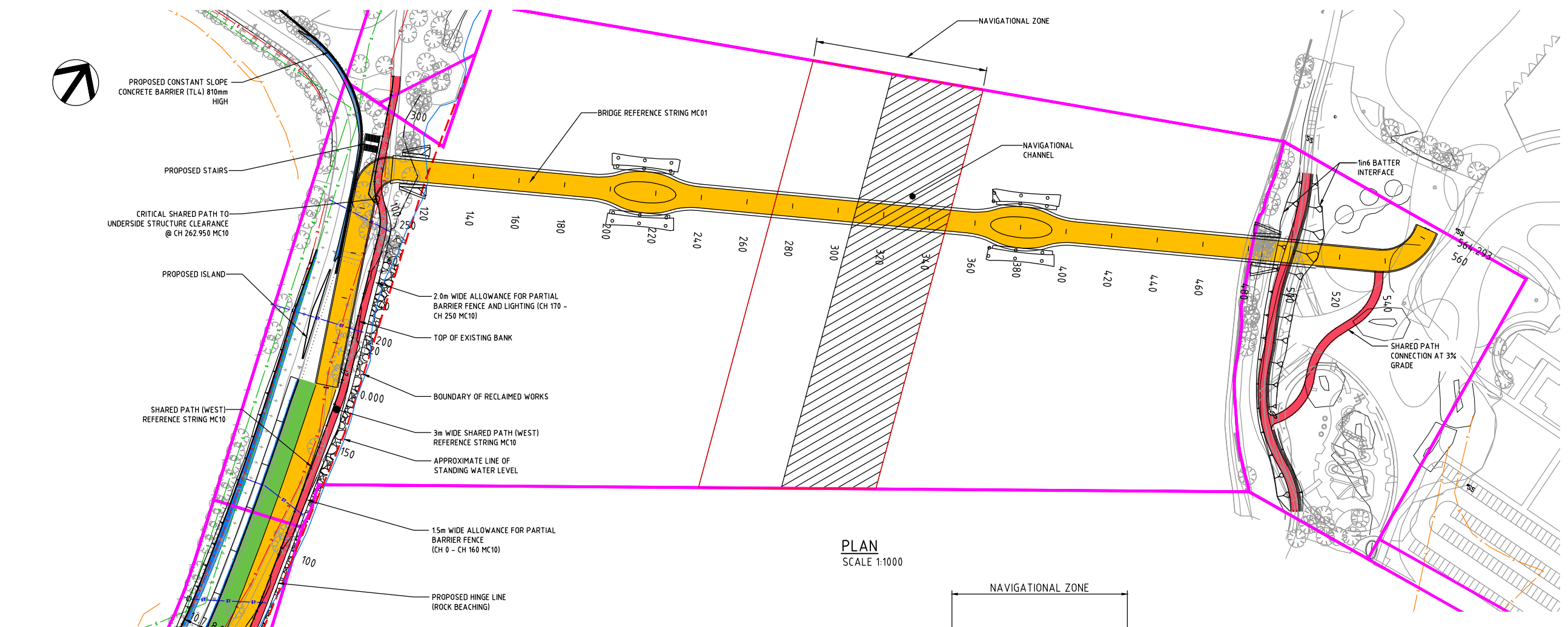
METROPOLITAN REDEVELOPMENT
AUTHORITY
3 JUL 2015
RECEIVED



REFER TO SPECIFICATION FOR MATERIALS CODE

04 ISSUED FOR TENDER		07/10/2014	METADATA GROUND SURVEY STANDARD DATE OF CAPTURE: MAPPING SURVEY STANDARD: DATE OF CAPTURE: MAIN ROADS PROJECT ZONE: HEIGHT DATUM		DENTON CORKER MARSHALL	DRAWN KM DESIGNED MP CHECKED NB APPROVED GG DRAWING PATH	Design Verification	 CONTRACT MANAGER PROJECT DIRECTOR	 mainroads WESTERN AUSTRALIA INFRASTRUCTURE DELIVERY DIRECTORATE	LOCAL AUTHORITY MAIN ROADS RESPONSIBILITY AREA MRWA DRAWING NUMBER PROJECT TITLE SWAN RIVER PEDESTRIAN BRIDGE DRAWING TITLE PERSPECTIVE - CLOSE-UP VIEW FROM WESTERN FORESHORE	DATE DRAWING STATUS DRAWING No. SRPB-001-DRG-AR-4104	SHEET 1 REV 04
No	DESCRIPTION	APPROVED & DATE					VERIFIED DATE	DATE PROJECT DIRECTOR	DATE PROJECT DIRECTOR	DATE PROJECT DIRECTOR		





RE-ISSUE FOR TENDER	07.10.14
ISSUE FOR TENDER	22.09.14
DESCRIPTION	APPROVED & DATE
AMENDMENTS	

METADATA	
GROUND SURVEY STANDARD:	
DATE OF CAPTURE:	
MAPPING SURVEY STANDARD:	
DATE OF CAPTURE:	
MAIN ROADS PROJECT ZONE:	
HEIGHT DATUM:	

Kellogg Brown & Root Pty Ltd
KBR
 Kellogg Brown & Root Pty Ltd
 ABN 91 007 660 317

DESIGNED BY:	D. KALISCH
CHECKED BY:	J. FAIRLIE
APPROVED BY:	B. CHUA
PROJECT MANAGER:	D. WAKELING
PROJECT DIRECTOR:	

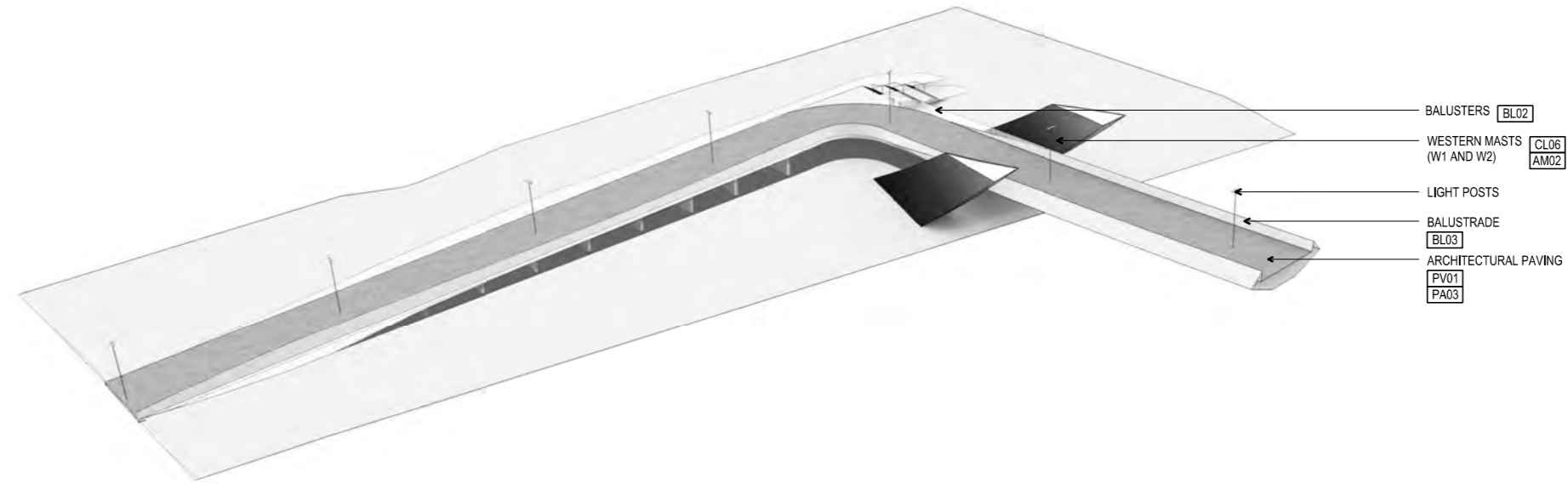
YORK RIZZANI DE ECCHER

Government of Western Australia
INFRASTRUCTURE DELIVERY DIRECTORATE

LOCAL AUTHORITY:	LOCALAUTH	MRWA RESPONSIBILITY AREA:	MRWARESAREA
PROJECT TITLE:	SWAN RIVER PEDESTRIAN BRIDGE		
DRAWING TITLE:	BRIDGE GEOMETRIC DESIGN PLAN AND LONGSECTION		
DRAWING NO.:	SRPB-0001-DRG-CV-0102	DATE:	

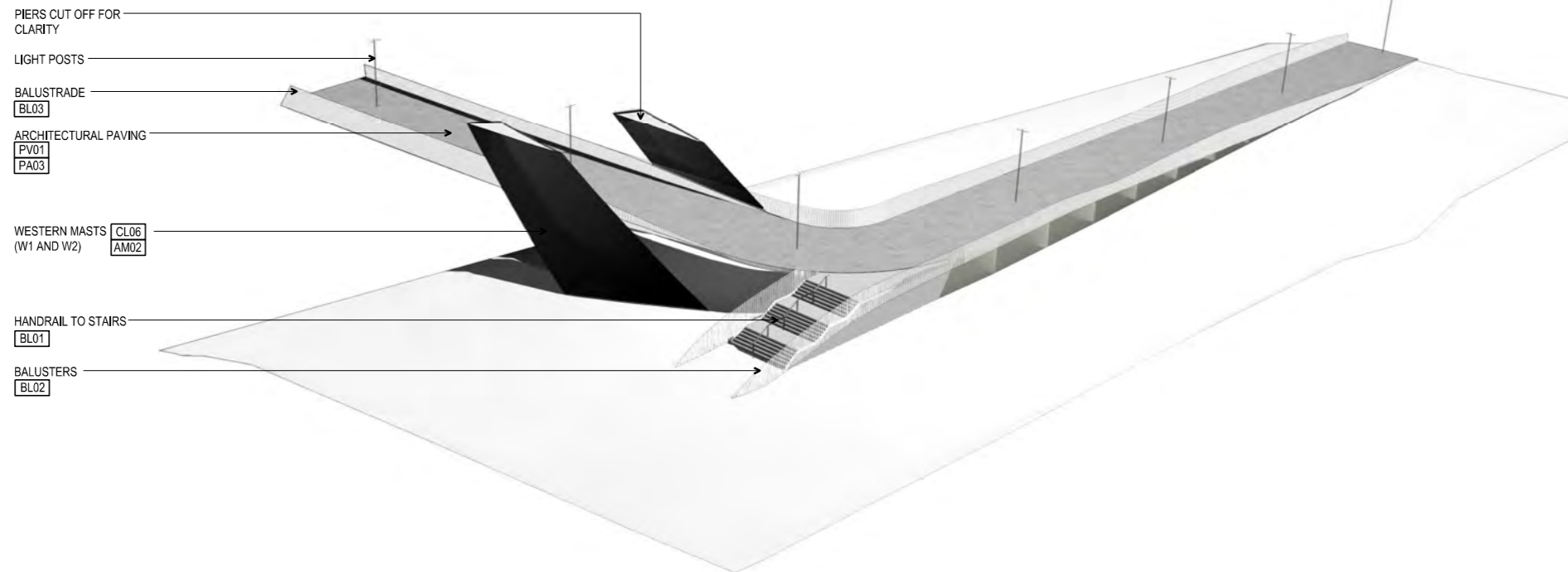
REV 1

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AUTHORITY
3 JUL 2015
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- BALUSTERS [BL02]
- WESTERN MASTS (W1 AND W2) [CL06] [AM02]
- LIGHT POSTS
- BALUSTRADE [BL03]
- ARCHITECTURAL PAVING [PV01] [PA03]

01 PIER 01 - VIEW FROM SOUTH EAST

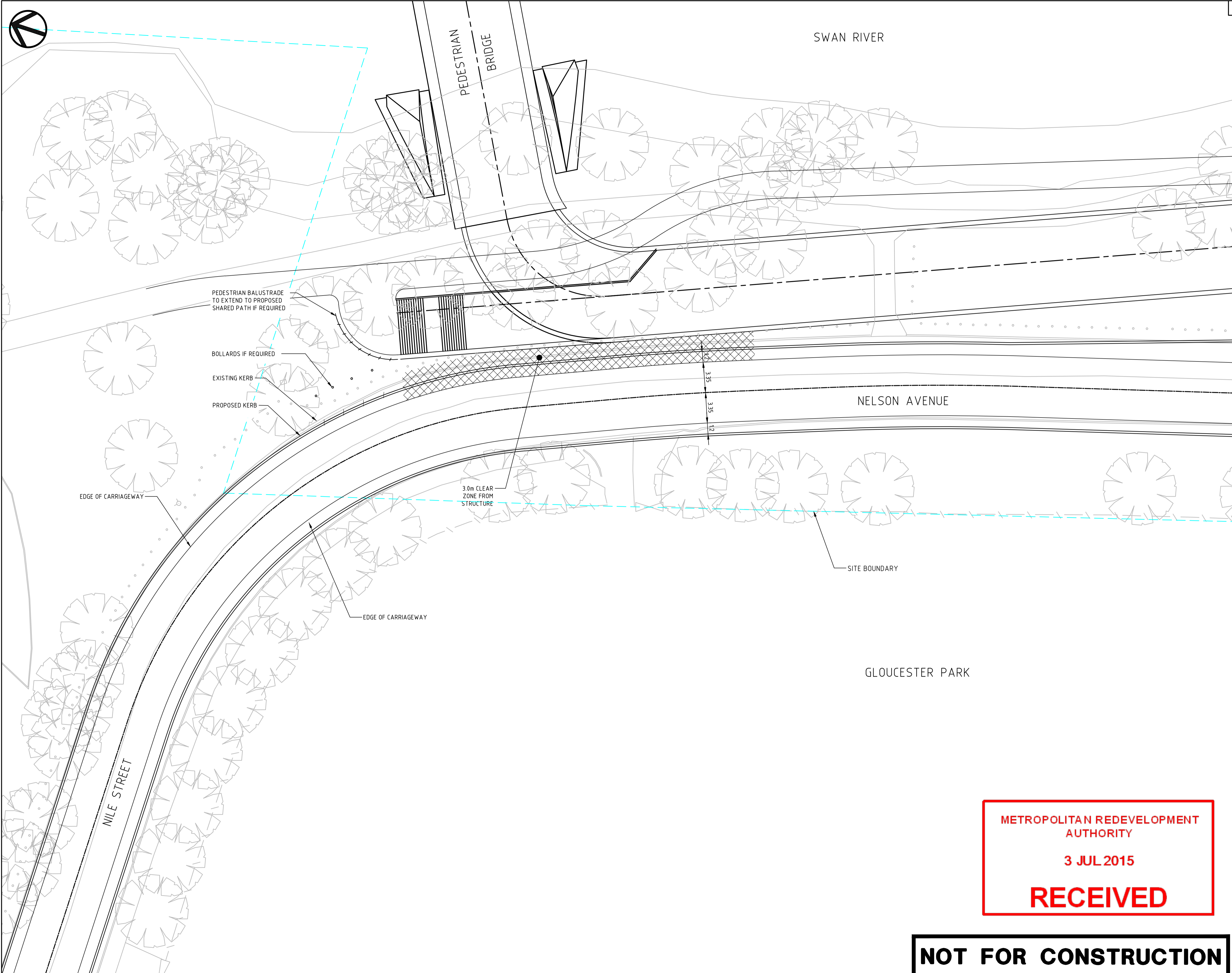


- PIERS CUT OFF FOR CLARITY
- LIGHT POSTS
- BALUSTRADE [BL03]
- ARCHITECTURAL PAVING [PV01] [PA03]
- WESTERN MASTS [CL06] [AM02]
- HANDRAIL TO STAIRS [BL01]
- BALUSTERS [BL02]

02 PIER 01 - VIEW FROM NORTH WEST

REFER TO SPECIFICATION FOR MATERIALS CODE

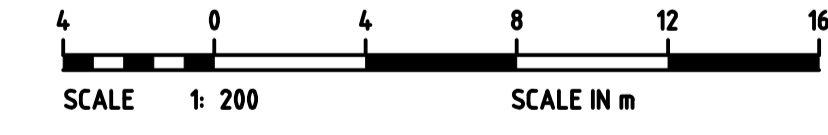
05 ISSUED FOR TENDER		08/10/2014	<p>METADATA</p> <p>GROUND SURVEY STANDARD: DATE OF CAPTURE: MAPPING SURVEY STANDARD: DATE OF CAPTURE: MAIN ROADS PROJECT ZONE: HEIGHT DATUM:</p>		<p>DENTON CORKER MARSHALL</p>		<p>DRAWN: SP</p> <p>DESIGNED: MP</p> <p>CHECKED: NB</p> <p>APPROVED: GG</p> <p>DRAWING PATH:</p>	<p>Design Verification</p> <p>DV De tails</p>	<p>YORK RIZZANI DE ECCHER</p> <p>Telephone</p>	<p>Government of Western Australia</p> <p>mainroads WESTERN AUSTRALIA</p> <p>INFRASTRUCTURE DELIVERY DIRECTORATE</p>	<p>LOCAL AUTHORITY: _____</p> <p>MRWA DRAWING NUMBER: _____</p> <p>PROJECT TITLE: SWAN RIVER PEDESTRIAN BRIDGE</p> <p>DRAWING TITLE: 3D VIEW PIER 01</p> <p>DATE: _____</p> <p>DRAWING STATUS: _____</p> <p>DRAWING No: SRPB-001-DRG-AR-2110</p>	<p>SHEET 01</p> <p>REV 05</p>
No	DESCRIPTION	APPROVED & DATE					VERIFIED	DATE	CONTRACT MANAGER	DATE	PROJECT DIRECTOR	DATE
	AMENDMENTS											



NOTES:

1. LENGTHS AND LOCATION OF BARRIERS ARE INDICATIVE ONLY AND SUBJECT TO CHANGE FOLLOWING DETAILED DESIGN.

**METROPOLITAN REDEVELOPMENT
AUTHORITY**
 3 JUL 2015
RECEIVED



NOT FOR CONSTRUCTION

A ISSUED FOR COMMENT	
No.	DESCRIPTION

METADATA	
GROUND SURVEY STANDARD:	-
DATE OF CAPTURE:	-
MAPPING SURVEY STANDARD:	-
DATE OF CAPTURE:	-
MAIN ROADS PROJECT ZONE:	-
HEIGHT DATUM:	AHD

Kellogg Brown & Root Pty Ltd

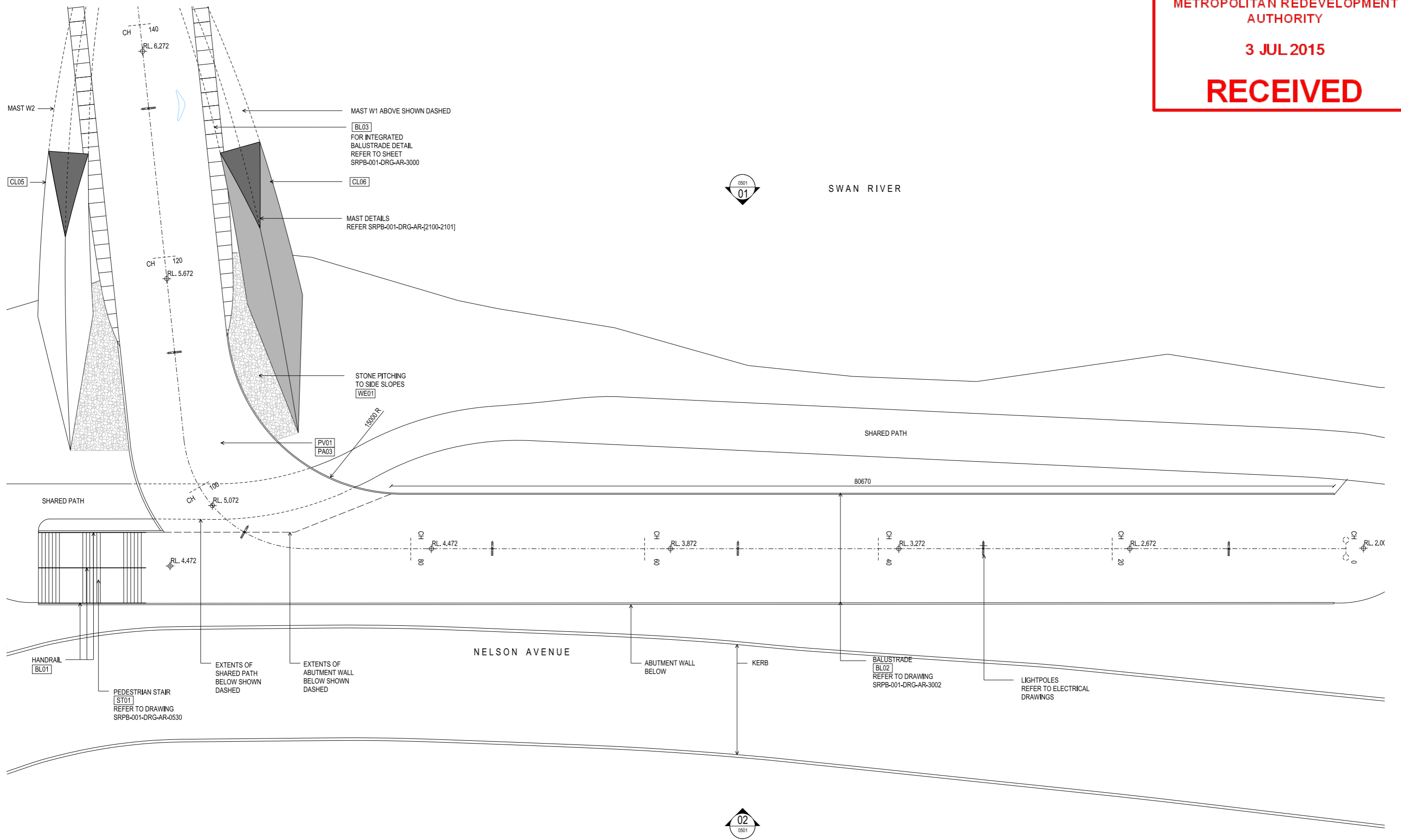
 ABN 91 007 660 317
 300 Murray St, Perth
 Western Australia 6000

DESIGNED		
CHECKED		
APPROVED		
DATE		

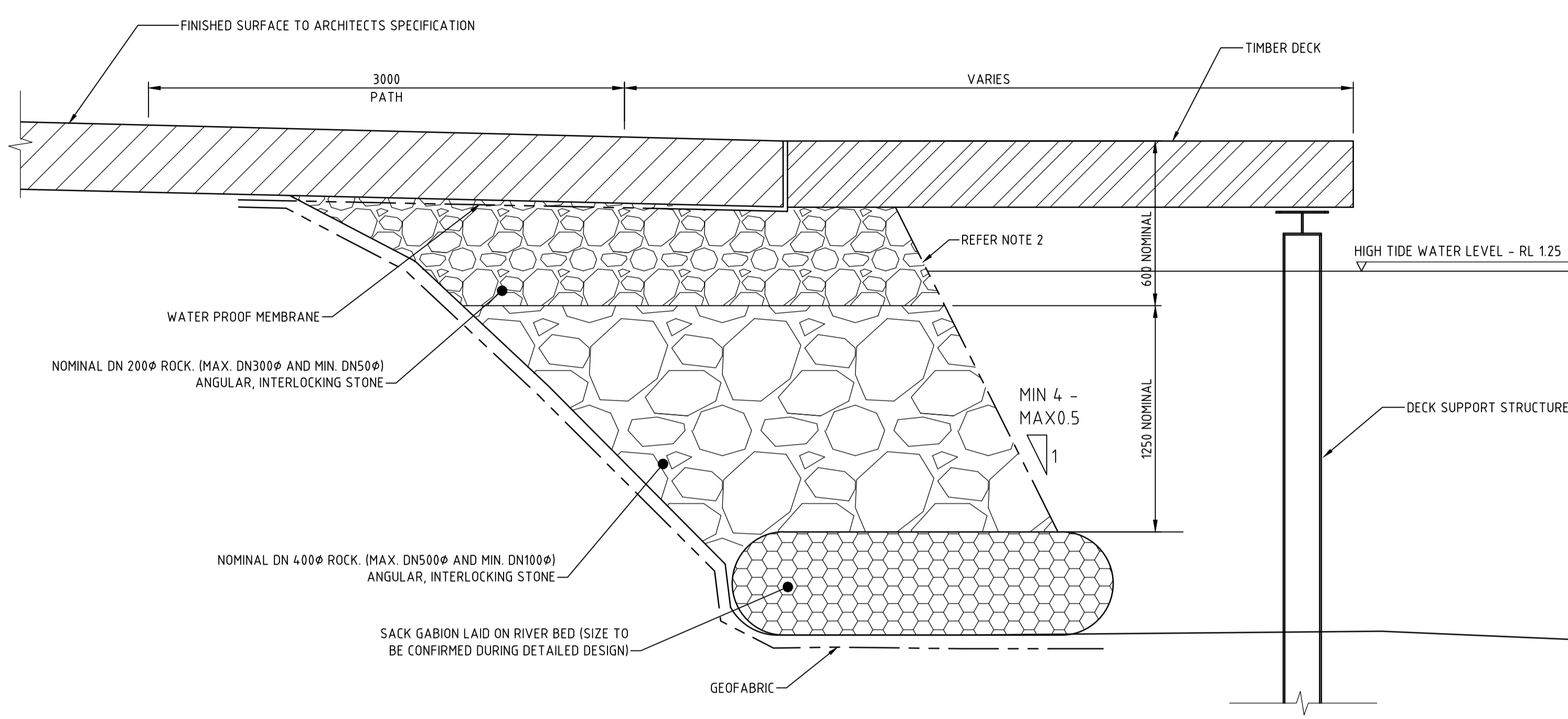
**YORK
RIZZANI
DE ECCHER**

**mainroads
WESTERN AUSTRALIA**
 INFRASTRUCTURE DELIVERY DIRECTORATE

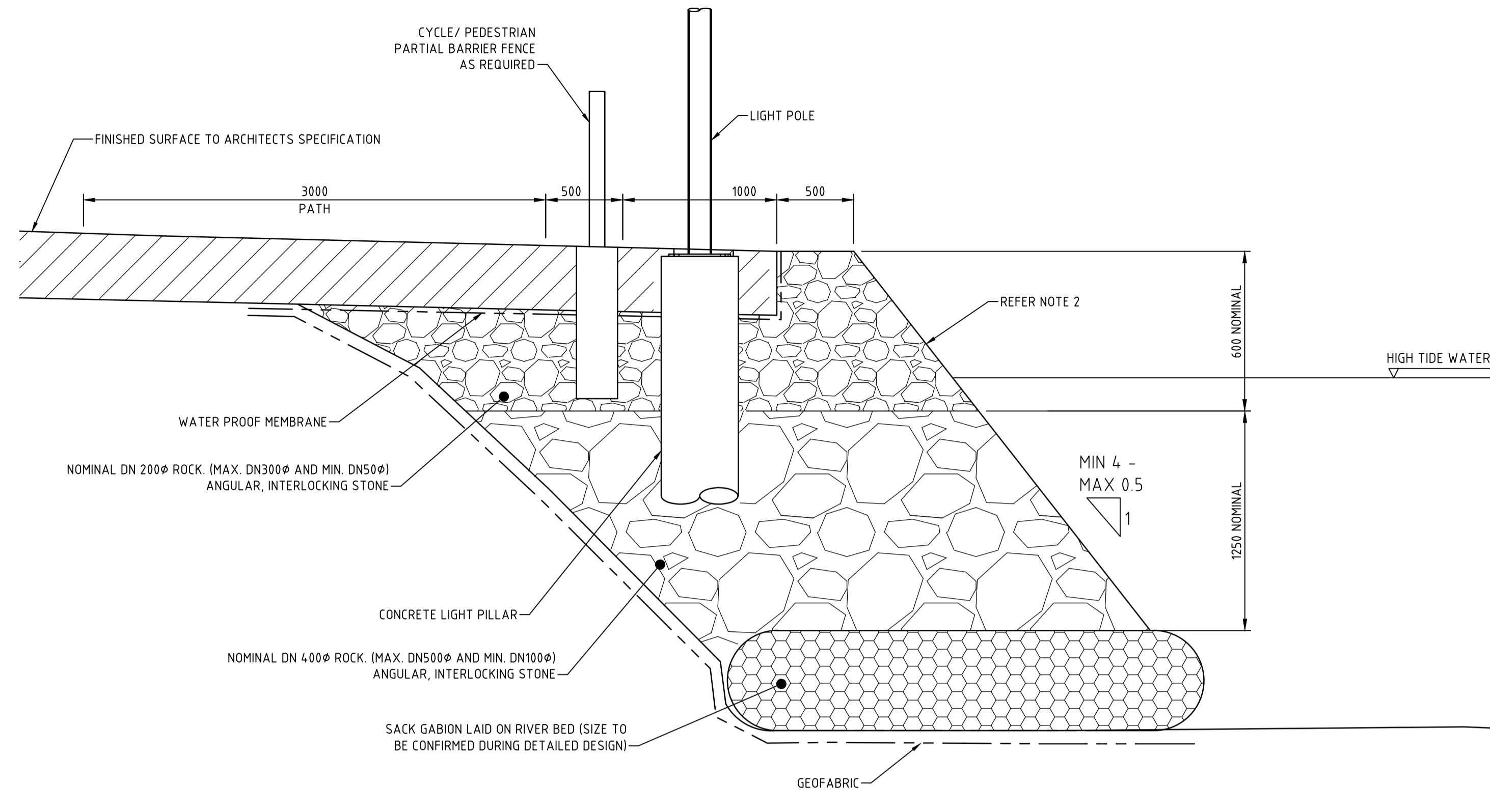
CONTRACT NUMBER	PEC556-DW-CV-SKH-0004
LOCAL AUTHORITY	CITY OF PERTH
MAIN ROADS RESPONSIBILITY AREA	PERTH REGION
PROJECT TITLE	SWAN RIVER PEDESTRIAN BRIDGE ONSHORE WORKS
DRAWING TITLE	BARRIER OPTION 3
DRAWING STATUS	IFC
DRAWING No.	PEC556-DW-CV-SKH-0004



01 WEST APPROACH RAMP PLAN
 SCALE 1:150 @ A1
 1:300 @ A3



TYPICAL SECTION CH 00 - 160 APPROX (SHARED PATH CHAINAGE)
WESTERN BANK - WITH TIMBER DECK
NOT TO SCALE



TYPICAL SECTION CH 170 - 250 APPROX (SHARED PATH CHAINAGE)
WESTERN BANK - WITH CYCLE PEDESTRIAN FENCE AS REQUIRED & LIGHT POLE
NOT TO SCALE

NOTE:
1. ONLY AN ASSUMED EXISTING SURFACE LEVEL TAKEN FOR THE BED FLOOR AS NO SURVEY WAS PROVIDED WITHIN THIS AREA.
2. ALL ROCK SHALL BE PLACED TO FORM A TIGHT INTERLOCKING MATRIX OF ROCK REVTMENT AND WILL BE GRANITE/LATERITE OR LIMESTONE.
3. FULL DETAIL TO BE DEVELOPED DURING NEXT STAGE OF DESIGN.

METROPOLITAN REDEVELOPMENT
AUTHORITY
3 JUL 2015
RECEIVED

A ISSUED FOR INFORMATION		18/06/15	Kellogg Brown & Root Pty Ltd KBR ABN 91 007 660 317 300 Murray St, Perth Western Australia 6000		DRAWN: _____ DESIGNED: _____ CHECKED: _____ APPROVED: _____ DATE: _____	VERIFIED: _____ DATE: _____	YORK RIZZANI DE ECCHER	CONTRACT MANAGER: _____ PROJECT DIRECTOR: _____ DATE: _____	PROJECT TITLE: SWAN RIVER PEDESTRIAN BRIDGE ONSHORE WORKS DRAWING TITLE: EMBANKMENT TREATMENT DRAWING STATUS: INFORMATION DRAWING No: PEC556-DW-CV-SKH-0003
METADATA GROUND SURVEY STANDARD: 67-08-43 DATE OF CAPTURE: OCT 2013 MAPPING SURVEY STANDARD: 67-08-37 DATE OF CAPTURE: OCT 2013 MAIN ROADS PROJECT ZONE: PCG94 HEIGHT DATUM: AHD			SCALE: NTS	NOT FOR CONSTRUCTION Government of Western Australia INFRASTRUCTURE DELIVERY DIRECTORATE mainroads WESTERN AUSTRALIA					

ITEM NO: 3

110 (LOTS 400, 401 AND 410) WILLIAM STREET, PERTH – PROPOSED ‘NEW TECHNOLOGY’ VERTICAL SIGN WITH THIRD PARTY ADVERTISING CONTENT TO REPLACE EXISTING SIGN

RECOMMENDATION:

(APPROVAL)

That in accordance with the City Planning Scheme No. 2 and the Metropolitan Region Scheme Council APPROVES BY AN ABSOLUTE MAJORITY the application for the replacement of the existing vertical sign at 110 (Lots 400, 401 and 410) William Street, Perth with a ‘new technology’ vertical sign to display third party advertising content as detailed on the application form dated 14 July 2015 and as shown on the plans received on 14 July 2015 subject to:

- 1. a comprehensive advertising strategy for the sign detailing the control of content, illumination levels, management and maintenance of the sign being submitted to the City for approval prior to the sign being installed;*
- 2. sign content being related to products, services or events available within the City of Perth boundaries with any sign content the City considers to be in conflict with this being removed from display within 24 hours of being informed of this by the City;*
- 3. the advertisements being restricted to static displays that contain only single, ‘self-contained’ messages that have a ‘dwell’ duration of not less than 45 seconds, with the duration of transition between the full display of one message and the full display of the next message not exceeding 0.1 seconds. Transitional effects such as fly-in, fade-out and scrolling shall not be permitted;*

(Cont’d)

4. ***the sign content excluding symbols, graphics or text that could be mistaken for an instruction to road users and pedestrians or any colours, shapes or lighting that could be mistaken for a traffic sign or traffic control signal, or a format normally used for traffic control or warning, incident or traffic management, or road safety or driver information messages, except where required by a public authority;***
5. ***the letter size and legibility of text generally conforming to the guidelines set out in Austroads' Guide to Traffic Management Part 10 – Traffic Control and Communication Devices and shall not include website and social media email addresses or text messaging instructions;***
6. ***the sign being in accordance with the relevant requirements of the Australian Standards: Control of the Obtrusive Effects of Outdoor Lighting (AZ4282-1997) and the maximum luminance of the sign being in accordance with the levels identified in the lighting impact assessment undertaken by Electrolight and received by the City on 14 July 2015;***
7. ***the sign having a default setting that will display an entirely black screen when no content or unauthorised content is being displayed or a malfunction occurs;***
8. ***the applicant/owner of the sign exempting the City from any liability resulting from claims due to road user or pedestrian distraction caused by the sign, with the applicant/owner accepting all responsibility for any such claims;***
9. ***this approval being valid for a period of 10 years with the sign being removed within three months after the expiry of the 10 year period and the building made good unless further development approval is obtained before that time.***

BACKGROUND:

SUBURB/LOCATION: 110 (Lots 400, 401 and 410) William Street, Perth
FILE REFERENCE: 2015/5286
REPORTING UNIT: Development Approvals
RESPONSIBLE DIRECTORATE: Planning and Development
DATE: 10 August 2015
MAP / SCHEDULE: Schedule 3 - Maps and Coloured Perspectives for
110 William Street, Perth

LANDOWNER: Jeffery Leach
APPLICANT: Rowe Group
ZONING: (MRS Zone) Central City Area
(City Planning Scheme Precinct) Citiplace (P5)
(City Planning Scheme Use Area) City Centre
APPROXIMATE COST: \$500,000

SITE HISTORY:

The subject site is located on the south east corner of William Street and the Murray Street Mall. It is occupied by a six storey building with a mix of shops, business services and fast food outlets at ground floor level and offices above.

The subject site is located within the William and Wellington Street Precinct identified by the State Heritage Office, although the building itself does not have any heritage significance.

At its meeting held on **10 October 2006**, Council approved two development applications for works to the building. One application involved the renovation of the facades of the building and the second involved the erection of a six by eight metre vertical sign to replace an existing three by eight metre vertical sign on the western façade of the building. Both the existing and proposed signs involved third party advertising with the advertising content of the approved sign intended to change on a monthly basis. A condition was imposed on the approval for the sign requiring the advertising content to be relevant to the sign's location within the central retail core of the city.

DETAILS:

The applicant seeks development approval to replace the existing vertical sign with a 'New Technology' vertical sign for third party advertising. It is intended to replace the existing sign with an electronic display sign of the same size (six metres in width and eight metres in height).

The sign content is intended to be static, with each advertisement having a ten second dwell time before transitioning to the next advertisement. Transition time will be 0.1 seconds.

The applicant has indicated that the sign will be able to display emergency community announcements for law and safety enforcement agencies on request. The applicant has also indicated that their client is willing to offer 5% of the advertising time to the City for the advertisement of civic and cultural events and local initiatives. Consideration of the use of the screen by the City is a separate matter that is not relevant to the determination of this application.

The existing sign is angled so that it projects into the William Street road reserve approximately 900mm and the proposed sign is to do the same.

LEGISLATION / POLICY:

Legislation *Planning and Development Act 2005;*
Heritage of Western Australia Act 1990
City Planning Scheme No 2

Policy
Policy No and Name: 4.7 Signs

COMPLIANCE WITH PLANNING SCHEME:

Development Requirements

The subject property is located within the City Centre Use Area of the Citiplace Precinct (P5) under the City Planning Scheme No. 2 (CPS2). The Precinct will be enhanced as the retail focus of the State providing a range of retail and related services more extensive than elsewhere in the metropolitan region. Building facades will incorporate interesting architectural elements thereby contributing to a lively, colourful and stimulating environment.

The Statement of Intent for the Citiplace Precinct does not specify any development provisions for signage. The CPS2 Signs Policy sets out the requirements for the erection and management of signs on or adjacent to buildings within the city providing guidelines for their acceptable design and location. The proposal's compliance with the Signs Policy is detailed in the following comments section.

The Council, pursuant to Clause 43 of CPS2, is to have 'regard' to the strategic and statutory planning framework when making determinations. Variations to the Signs Policy can be granted by an absolute majority decision of the Council, in accordance with Clause 47 of the City Planning Scheme and provided the Council is satisfied that:-

'47(3)(d)(i) if approval were to be granted, the development would be consistent with:-

- (A) the orderly and proper planning of the locality;*
- (B) the conservation of the amenities of the locality; and*
- (C) the statement of intent set out in the relevant precinct plan; and*

(iii) the non-compliance would not have any undue adverse effect on:-

- (A) the occupiers or users of the development;*
- (B) the property in, or the inhabitants of, the locality; or*
- (C) the likely future development of the locality'.*

COMMENTS:

Heritage Consultation

As the site falls within the William and Wellington Street Precinct the application was referred to the State Heritage Office (SHO) for consideration. The SHO have

indicated that while the building at the subject site is identified as being intrusive within the Precinct the proposed sign replaces an existing one and will not impact upon the cultural significance of the Precinct. The development is therefore supported.

Signs Policy

Under the Signs Policy the proposed sign is both a vertical sign and a 'new technology' sign with third party advertising content. General performance criteria as well as specific design criteria are applicable as follows:

Response to Location and Contribution to Local Character

All new signage in the city is required to respond to the local character of the street and the prevailing building style as well as making a positive contribution to its setting. Enhancement of the desired future environmental character of an area should also be a primary consideration when assessing the appropriateness of a new sign proposal.

Under the Signs Policy 'new technology' signs are only permitted within the Citiplace and Northbridge Precincts, with the most appropriate location considered to be within plazas or public spaces where they can be viewed by gathered or passing pedestrians. While the sign is in the Citiplace Precinct and is at the entry to the Murray Street Mall it cannot be viewed by pedestrians gathered or lingering in the Mall as it faces west. It can only be viewed by pedestrians moving along or crossing adjacent streets.

The Signs Policy also states that new technology signs are generally not permitted within designated heritage areas as proposed.

Notwithstanding the above, the proposed digital sign is in a location that has been occupied by a large vertical sign for several years and which assists in creating a colourful entry to the Murray Street Mall. A digital sign is not likely to have a significantly greater impact on the locality or the designated heritage precinct than the existing sign, with the exception that its content will be regularly changing and therefore potentially attract greater attention and interest. As it is the only large wall sign and the only sign with third party advertising content at the western entry to the Mall visual clutter is not considered to be an issue.

As indicated the SHO consider that the proposed sign will not impact upon the cultural significance of the William and Wellington Street Precinct.

The applicant has submitted a lighting impact assessment that indicates that the illumination of the digital sign will comply with the relevant requirements of the Australian Standards – Control of the Obtrusive Effects of Outdoor Lighting. In the absence of specific provisions in Western Australia at this time, the sign's compliance with the draft NSW Transport Corridor Outdoor Advertising and Signage Guidelines 2014 has also been assessed. Maximum dimming levels have been prescribed in accordance with these Guidelines and a condition should be applied to any approval

issued requiring compliance with these levels to ensure illumination does not adversely impact upon safety or amenity in the locality.

Variety and Interest

The Signs Policy recognises that signage can play an important role in the interest and appeal of a building or place, especially in shopping areas, and as such the City supports variety over monotonous design. A sign should reflect the quality of the service or the merchandise, be appropriate to the building or site and aim to attract attention in a way which is well thought out and well designed.

The existing sign is appropriately integrated with the building design, adding interest to the building's western façade. Its scale relative to the building is not excessive. The new sign will essentially have the same appearance as the existing sign but as indicated, as a result of its varying content, will potentially draw greater attention.

Community Expectations

In recent times it has become apparent that community expectations regarding certain signage, particularly 'new technology' and animated signs, has shifted. A review of the Signs Policy is currently underway to address these changes in expectations and various aspects of the policy which are now outdated. A draft policy is intended to be presented to the Council in the near future. In the interim it is important that any approvals issued should be consistent with the existing policy and not pre-empt or prejudice the direction of the new policy. Given the proposed sign is replacing a sign which has been in place for several years and approved under the existing policy it is not considered to prejudice the direction of the new policy.

Notwithstanding the above it is considered appropriate that a condition be imposed on any approval issued limiting it to a ten year period with a new application required to be lodged at that time. This would allow the appropriateness of the sign to be reassessed on the basis of community expectations at that time, current policy and any changes to the surrounding environment which may have occurred.

Safety

A sign should in no way endanger the safety of the public and 'new technology' signs should not be able to be viewed by passing motorists and other road users for whom the sign might be a distraction and therefore a safety hazard. The content of 'new technology' signs may move but not flash or pulsate in a manner that is likely to cause a hazard or nuisance to pedestrians, road users or the occupants of neighbouring properties.

The sign is to be located at a height approximately six metres above the footpath and will be visible by motorists and other road users travelling east along Murray Street and north along William Street. However while it is a 'new technology' sign it is proposed that each advertisement will be static with a 10 second dwell time and 0.1 second transition time. Main Roads Western Australia has advised that a minimum dwell time of 45 seconds is recommended for streets with a 50km per hour speed limit so as not to create a traffic hazard. This requirement can be imposed as a

condition of any development approval issued, along with restrictions on fading and scrolling messages and any content which could be mistaken for a traffic signal or sign.

Design, Construction and Maintenance

Signs are required to be simple, clear and efficient with structural components and wiring concealed. The proposed sign meets this requirement with all structures and services concealed.

The applicant anticipates that maintenance will be less frequent than at present as sign content will be changed using computer software rather than needing to be physically changed on site.

Third Party or General Advertising

As indicated the sign is intended to display third party advertising content similar to that displayed on the existing sign. The Signs Policy states that third party advertising will only be permitted where, having regard to the character of the area in which the sign is to be situated, the Council is satisfied that the visual quality, amenity and safety of the area will be enhanced, or at the very least not diminished.

The Council has generally discouraged third party advertising throughout the city to avoid a proliferation of signage and visual clutter. However the current sign was approved on the basis that it was replacing an existing third party sign and its appearance would be enhanced, forming an integral part of façade renovations at that time. Third party advertising content has been displayed in this location for over 10 years and it would be difficult to argue that continuation of this would diminish the visual quality, amenity and safety of the area. No objection is therefore raised to the application on this basis. However support of this proposal should not be construed as a precedent for a proliferation of third party advisements in the locality and should not prejudice the direction of the proposed new Signs Policy.

A condition of approval was imposed on the existing sign requiring content to be relevant to the sign's location within the central retail core of the city. The applicant has indicated the sign will be able to display emergency community announcements for law and safety enforcement agencies on request and that 5% of the content could be made available to the City for the advertisement of civic and cultural events and local initiatives. Whether the City chooses to enter into agreements to use this sign for advertising purposes is not relevant to the assessment of this application. However it is considered appropriate that a condition of any approval issued require advertising content to be related to products, services and events available within the city.

The applicant has indicated that sign content will be monitored and operated by a secure network connection to the head office of the responsible advertising agency. Content will not relate to tobacco products or offensive material. If unapproved content is displayed by mistake or as a result of hackers the signage will default to a blank screen format. A condition of any approval issued should be imposed to ensure this occurs.

Conclusion

The proposed 'new technology' vertical sign with third party advertising content at the subject site can be supported on the basis that it is replacing a sign of identical size and design, with the exception being that the new sign will have frequently changing content with enhanced graphics. The imposition of appropriate conditions to manage the sign's contents and graphics will ensure that the amenity and safety of the locality for motorists, pedestrians and building occupants are maintained.



2015/5286; 110 WILLIAM STREET, PERTH



2015/5286; 110 WILLIAM STREET, PERTH

ITEM NO: 4

HERITAGE GRANT APPLICATION FOR THE PREPARATION OF A CONSERVATION MANAGEMENT PLAN FOR THE CBH BUILDING, 22 DELHI STREET, WEST PERTH

RECOMMENDATION:

(REFUSAL)

That Council

- 1. refuses the heritage grant application submitted by TPG Town Planning Urban Design and Heritage on behalf of the owners of 22 Delhi Street, West Perth for \$18,660 for the preparation of a Conservation Management Plan for the following reasons:***
 - 1.1. in accordance with Council Policy 6.1 Heritage Grants (24 April 2012);***
 - a. the application was not received within a formal funding round;***
 - b. the application did not include two quotes;***
 - 1.2. the applicant has previously received a heritage related development incentive from the City for the subject site as per the Development Approval of 19 May 2015 which included the awarding of a bonus plot ratio of 13.5%, conditional on the preparation of the Conservation Management Plan;***
- 2. notes that Council Policy 6.1 Heritage Grants (11 August 2015) excludes the provision of funding for the preparation of a Conservation Management Plan where the preparation of the documentation is associated with a Development Application involving a Bonus Plat Ratio.***

BACKGROUND:

FILE REFERENCE: P1023383
REPORTING UNIT: Strategic Planning
RESPONSIBLE DIRECTORATE: Planning and Development
DATE: 10 August 2015
MAP / SCHEDULE: N/A

On 15 May 2015 the City received a heritage grant application from TPG Town Planning Urban Design and Heritage (the applicant), on behalf of the owners of the CBH Building located at 22 Delhi Street in West Perth (the place). The heritage grant application is for \$18,660 to prepare a Conservation Management Plan (CMP) for the place.

It is noted that the preparation of a CMP is required to satisfy a Development Approval condition for additions and refurbishment of the place, which was determined by Council on **19 May 2015**. The condition required a CMP to be prepared for the building and submitted to Council prior to applying for a building permit.

At its meeting held on **11 August 2015**, Council approved a revised Policy 6.1 Heritage Grants.

Given that the application was received prior to the adoption of the revised policy it has been assessed in the context of the requirements of both the previous and revised policies.

The previous Heritage Grant policy required the provision of two quotes with an application; this has now been increased to three quotes under the revised policy. The heritage grant application includes one quote, which is from the applicant.

The revised policy is also very clear about what will and will not be considered for funding, whereas the existing policy is silent on funding exclusions. In this regard the revised policy excludes 'The preparation of documentation associated with a Development Application or Building Permit involving a Bonus Plot Ratio or Transfer Plot Ratio' (Funding Exclusions Clause 9.7).

Based on the above, on 6 June 2015 the City wrote to the applicant regarding the grant application asking if the owner wanted to gather an additional quote to make the cost comparisons easier for the Council to consider.

On the 3 August 2015, notwithstanding the above, the applicant requested that the application be presented to Council for consideration.

Details of the application assessment are detailed in this report.

LEGISLATION / STRATEGIC PLAN / POLICY:

Legislation

City Planning Scheme No. 2.

Integrated Planning and Reporting Framework Implications

Corporate Business Plan

- S7 Collaborate with private sector to leverage
- S9 Promote and facilitate CBD living.
- 9.2 Review the City's approach to Conservation of Heritage Places.
- S15 Healthy and Active in Perth
- 15.1 Undertake a full review of the Grants, Donations, Sponsorships and Event Funding Policies

Strategic Community Plan

Council Four Year Priorities: Community Outcome
Healthy and Active in Perth.

A city with a well-integrated built and green environment in which people and close families chose a lifestyle that enhances their physical and mental health and take part in arts, cultural and local community events.

Policy

Council Policy

6.1 – Heritage Grants

DETAILS:

The heritage grant application for \$18,660 to prepare a Conservation Management Plan for the CBH Building included one quote from the applicant. The funding amount sought reflects the quote provided. Only one quote was provided because the applicant is considered a reputable company that has a long term association of providing advice to the owner of the site. The costs associated with preparing the plan are considered to be within the range of preparing such plans.

The applicant states that it is the sole heritage and planning consultant engaged to work on this building because of their long standing relationship with the owner and therefore it was considered impracticable to employ an alternate consultant (obtain additional quotes) to undertake the proposed plan.

The amount quoted is consistent with quotes received for other plans received by the City of Perth to prepare Heritage Conservation Plans. (Quinlan Moiana 618 Hay Street \$22,294.00: P & O Building (Former), 56 William St \$21,175: and Boans Warehouse 12 Saunders Street \$19,580).

Notwithstanding this, the previous heritage grants policy required two quotes. It is also noted that the revised policy requires three quotes.

Council's development approval of 19 May 2015 included the granting of a bonus plot ratio of 13.5% (567.5m²) on the basis of the restoration and conservation of the façade of the existing heritage building on the site. Given that the applicant had not supplied a Conservation Management Plan to guide the Development Application, a

condition was specifically applied requiring a CMP be prepared prior to the lodgement of building permit.

Bonus plot ratio is not awarded "as of right". Bonus plot ratio is an award that must be earned and applicants will be required to demonstrate that the proposed bonus will deliver an identifiable benefit.

The previous heritage grant policy was silent on the matter of eligibility of grants where landowners had received a planning incentive such as bonus plot ratio or transfer plot ratio. The revised policy has clarified this, stating that heritage grants will not be provided for, amongst other things, Conservation Management Plans where the preparation of the documentation is associated with a Development Application or Building Permit involving a Bonus Plot Ratio or Transfer Plot Ratio.

FINANCIAL IMPLICATIONS:

Given that the recommendation is that the grant application be refused, there are no financial implications for the City.

If Council were mindful of supporting the application, there is sufficient funding available in the City's heritage grant budget to accommodate the request.

COMMENTS:

The CBH building located at 22 Delhi Street in West Perth has not received any heritage grants or rate concessions from the City of Perth.

The grant application does not conform to Council's previous or revised heritage grant policies because of the submission of one quote. Furthermore, the requested funding is not eligible under the heritage grant policy given that the preparation of the CMP is required to satisfy a condition associated with the awarding of Bonus Plot Ratio.

Based on the above, it is recommended that the application for a heritage grant be refused.

ITEM NO: 5

PROPOSED INTERIM REGISTRATION OF THE CHEMISTRY CENTRE, 100 PLAIN STREET EAST PERTH, IN THE STATE REGISTER OF HERITAGE PLACES

RECOMMENDATION:

(ADVICE TO STATE HERITAGE OFFICE)

That Council advises the Heritage Council of Western Australia that it supports the Interim registration of P10612 the Chemistry Centre, located at 100 Plain Street East Perth, in the State Register of Heritage Places maintained under the Heritage of Western Australia Act, 1990.

BACKGROUND:

FILE REFERENCE: P1021248
REPORTING UNIT: Strategic Planning
RESPONSIBLE DIRECTORATE: Planning and Development
DATE: 3 August 2015
MAP / SCHEDULE: Schedule 4 – State Heritage Office Assessment Documentation
Schedule 5 – Photographs of the building

At its meeting on **29 January 2008**, Council resolved that all nominations for properties to be included in the Heritage Council's Register of Heritage Places are to be referred to Council for consideration.

The State Heritage Office (SHO) has written to the City seeking its comments on the proposed interim registration on the State Heritage Register of 100 Plain Street East Perth. The Heritage Council has resolved that the subject property is of cultural heritage significance in terms of the *Heritage of Western Australia Act 1990*, and that stakeholders should be consulted on the proposed registration.

The SHO is seeking a written submission from the City on this proposal given that the subject property falls within the City's boundaries.

The SHO has also invited Council to nominate a person to attend the meeting at which interim entry on the State Heritage Register will be considered. On the **22 October 2013** Council resolved that Councillor Adamos be Council's nominated representative at all Heritage Council Register Committee meetings.

If the Heritage Council decides that a place is of State significance, a recommendation is made to the Minister for Heritage, who will make the final decision on whether the place is entered in the State Register on an interim basis.

LEGISLATION / STRATEGIC PLAN / POLICY:

Legislation Part 5, Division 2 and Part 8 of the *Heritage Act of Western Australia 1990*
Clause 30 of the City Planning Scheme No. 2

Integrated Planning and Reporting Framework Implications	Corporate Business Plan Council Four Year Priorities: Healthy and active in Perth. S15 Reflect and celebrate the diversity of Perth. 15.3 Review and further develop the City's approach to the conservation, management and celebration of its cultural heritage.
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DETAILS:

The subject property at 100 Plain Street East Perth comprises a single storey brick and corrugated fibrocement former Materials Science Building constructed in 1952 in a late rendition of the Inter-War Functionalist style. The SHO Assessment is attached Schedule 4 and photographs of the building are at Schedule 5.

The Cultural Heritage Significance of a place is assessed by considering various values. Each place is unique and has its own combination of values, which together show its cultural heritage significance.

The SHO's *Documentation of Places for Entry in the Register of Heritage Places* (Assessment Documentation) demonstrates that the place has Aesthetic, Historic and Scientific values. Those values, that are considered to be of State significance, form the following Statement of Significance:

"The Materials Science Building is rare in Western Australia for its design, which strongly emulates the international architectural style developed by Dutch Architect W.M. Dudok, especially in its external form, massing and detail.

The place was the principal technical centre of the Government Chemical Laboratories' (and its successive reorganisations) from the 1942 to 2009, and through its scientific work contributed to the development of Western Australia's mineral and petroleum resources and agriculture in the post - World War Two era, demonstrating the value of chemical analysis to successive State Governments in the post-World War Two era:

The Materials Science Building is a good representative example of the early influence of the international Modern Movement in the State public works under the direction of Principal Architect A.E. (Paddy) Clare: and

The place's laboratories and apparatus demonstrate facilities available in the Western Australian Government Chemical Laboratories (and its successive reorganisations) between 1942 and 2009".

It is noted that in accordance with the SHO criteria, the assessment needs to only meet a minimum of one value to meet the threshold for entry into the State Register.

In addition to the identified values, the place is considered to be a rare example of the early influence of the International Modern Movement in the State public works under the direction of Principal Architect A.E. Clare and as a rare example of an architectural design strongly emulating that of internationally acclaimed Dutch Architect Willem Dudok. The place is also considered to be in a fair to good condition with a moderate level of integrity (Schedule 4 page 4-5).

The MRA has advised that they support the proposed State registration. The Chemistry Centre has been identified as having Heritage values in the Chemlabs Design Guidelines 2010 adopted by EPRA and currently being used by the MRA to guide development in the area.

The site contains a number of buildings built over different periods. The MRA guidelines identify some of these to be dilapidated which are being demolished to make way for a new mixed-use development. It is understood that the intent is that the building on the corner of Hay and Plain Street, and subject to this assessment, is considered to have primary heritage significance. Construction is expected to begin in 2016 subject to final sales processes and development approvals from the MRA.

The SHO are aware of the current demolition and have indicated that progression from interim to permanent registration may be postponed until the completion of these works.

FINANCIAL IMPLICATIONS:

Currently the property is owned by the Metropolitan Redevelopment Authority (MRA). The MRA does not pay rates and therefore is ineligible for grants and rate concessions. There are no financial implications for registration at this stage, however, once the lot is sold the property will be rated.

COMMENTS:

The SHO assessment documentation for the property demonstrates that the place has significance at a State level and therefore Interim registration should be supported.

The MRA, the owners of the property, support its registration onto the State Heritage Register.

**DOCUMENTATION OF PLACES
FOR ENTRY IN THE
REGISTER OF HERITAGE PLACES**

1. **DATA BASE No.** 10612
2. **NAME** *Chemistry Centre (fmr) (1942-1984 [site], 1952 [building])*
3. **LOCATION** 100 Plain Street, Perth
4. **DESCRIPTION OF PLACE INCLUDED IN THIS ENTRY**
Lot 101 on Deposited Plan 401750 being the whole of the land contained in Certificate of Title Volume 2848 Folio 994.
5. **LOCAL GOVERNMENT AREA** City of Perth
6. **OWNER** Metropolitan Redevelopment Authority
7. **HERITAGE LISTINGS**
 - Register of Heritage Places: _____
 - National Trust Classification: _____
 - Town Planning Scheme: _____
 - Municipal Inventory: _____
 - Register of the National Estate: _____
8. **CONSERVATION ORDER**

9. **HERITAGE AGREEMENT**

10. **STATEMENT OF SIGNIFICANCE**
Chemistry Centre (fmr), comprising the single storey brick and corrugated fibrocement former Materials Science Building constructed in 1952 in a late rendition of the Inter-War Functionalist style and the site of laboratories and offices constructed between 1942 and 1984, has cultural heritage significance for the following reasons:
 - the Materials Science Building is rare in Western Australia for its design, which strongly emulates the international architectural style developed by Dutch architect W. M. Dudok, especially in its external form, massing and detail;
 - the place was the principal technical centre of the Government Chemical Laboratories (and its successive reorganisations) from 1942 to 2009, and through its scientific work contributed to the development of Western Australia's mineral & petroleum resources and agriculture in the post-World War Two era, demonstrating the value of chemical

analysis to successive State Governments in the post-World War Two era;

the Materials Science Building is a good representative example of the early influence of the international Modern Movement in State public works under the direction of Principal Architect A.E. (Paddy) Clare; and,

the place's laboratories and apparatus demonstrate facilities available in the Western Australian Government Chemical Laboratories (and its successive reorganisations) between 1942 and 2009.

Landscape elements, other than the planters of the Materials Science Building, are of little significance.

11. ASSESSMENT OF CULTURAL HERITAGE SIGNIFICANCE

The criteria adopted by the Heritage Council in November 1996 have been used to determine the cultural heritage significance of the place.

PRINCIPAL AUSTRALIAN HISTORIC THEME(S)

- 3.5.3 Developing agricultural industries
- 3.13 Developing an Australian manufacturing industry
- 3.14 Developing an Australian engineering and construction industry
- 3.17 Inventing devices
- 5 Working
- 8.10.4 Designing and building fine buildings
- 8.10.5 Advancing knowledge in science and technology

HERITAGE COUNCIL OF WESTERN AUSTRALIA THEME(S)

- 110 Resource exploitation and depletion
- 112 Technology and technological change
- 408 Institutions

11.1 AESTHETIC VALUE*

The Materials Science Building's external form, massing and detail emulate the architectural style developed by Dutch architect Willem Marinus Dudok in the town of Hilversum, Holland, in the Inter-War period, which influenced the Public Works Department under the directorship of Principal Architect A.E. (Paddy) Clare in the 1940s. (Criterion 1.2)

The Materials Science Building is a landmark due to its distinctive architectural design, including horizontal massing, portal windows and a tall brick chimney, and its location at a busy city intersection. (Criterion 1.3)

11.2. HISTORIC VALUE

Chemistry Centre (fmr) is significant as the principal laboratories of the Government Chemical Laboratories (and its successive reorganisations) from 1942 until 2009) and demonstrates the value of chemical analysis to the State Governments of the post-World War Two era in Western Australia. (Criterion 2.1)

Chemistry Centre (fmr) is associated with Western Australia's development of mineral & petroleum resources, agriculture and manufacturing in the post-

* For consistency, all references to architectural style are taken from Apperly, R., Irving, R., Reynolds, P. *A Pictorial Guide to Identifying Australian Architecture. Styles and Terms from 1788 to the Present*, Angus and Robertson, North Ryde, 1989.

For consistency, all references to garden and landscape types and styles are taken from Ramsay, J. *Parks, Gardens and Special Trees: A Classification and Assessment Method for the Register of the National Estate*, Australian Government Publishing Service, Canberra, 1991, with additional reference to Richards, O. *Theoretical Framework for Designed Landscapes in WA*, unpublished report, 1997.

World War Two era, having undertaken analysis and developmental research to support these industries. (Criterion 2.2)

Chemistry Centre (fmr) undertook free testing of mineral samples from private interests as part of a government policy of supporting the development of the mining industry, and as such was important in facilitating the mineral boom of the 1960s and 1970s that was critical to the development of the State. (Criterion 2.2)

Government Analyst (later Director) from 1939 to 1947, Harry Bowley, initiated the planning and construction of the offices and laboratories on the site and oversaw much of the construction, as the culmination of his 49-year career working in the laboratories of the Mines Department. (Criterion 2.3)

Chemistry Centre (fmr) provides evidence of the purpose of a building and its architectural design combining to reflect a dominant philosophy at the time of construction, namely that development progress could be achieved through modernity, technology and functionality, which is expressed architecturally through an unpretentious Interwar Functionalist style design. (Criterion 2.4)

11. 3. SCIENTIFIC VALUE

The Materials Science Building is used in the teaching of architecture as a fine example of the application of European design of the 1930s, especially the work of Dudok, to Australian buildings, and as a fine technical example of Functionalist design. (Criterion 3.1)

The laboratories and apparatus (associated objects) demonstrate facilities available in the Western Australian Government Chemical Laboratories (and its successive reorganisations) between 1942 and 2009. (Criterion 3.2)

Chemistry Centre (fmr) has been the site of much significant scientific research since its construction, which has contributed in particular to the development of the State's agricultural, manufacturing and mining industries since World War Two, as well as contributing to the protection of the environment and public health and safety in Western Australia. (Criterion 3.2)

11. 4. SOCIAL VALUE

12. DEGREE OF SIGNIFICANCE

12. 1. RARITY

The Materials Science Building is a rare example of the early influence of the international Modern Movement in State public works under the direction of Principal Architect A.E. (Paddy) Clare. (Criterion 5.1)

The Materials Science Building is rare in Western Australia as an example of architectural design strongly emulating that of internationally acclaimed Dutch architect Willem Dudok. (Criterion 5.1)

12.2 REPRESENTATIVENESS

The Materials Science Building is representative of the early influence of the international Modern Movement in art and architecture on mid-twentieth century Western Australian public works. (Criterion 6.1)

12.3 CONDITION

In 2015, Chemistry Centre (fmr) is in fair to good condition. Several years of vacancy and lack of maintenance have allowed some decline to occur. Structural elements are generally in better condition than detailing, and exterior elements overall in better condition than the interior.

12.4 INTEGRITY

Chemistry Centre (fmr)'s original intention as the State Government chemical laboratories is evident, although most buildings are currently being demolished. The extant building has been vacant since 2009 and much internal material has been removed. The place has moderate integrity.

12.5 AUTHENTICITY

Chemistry Centre (fmr) has moderate authenticity. While the Materials Science Building is in its original state, all other buildings are currently being demolished. There have been minor intrusions into the porthole windows of the Materials Science Building on the Plain Street façade.

13. SUPPORTING EVIDENCE

The documentation for this place is based on the heritage assessment completed by Wayne Moredoundt, historian, and Don Wallace of Palassis Architects, in February 2002, with amendments and/or additions by State Heritage Office staff and the Register Committee.

13.1 DOCUMENTARY EVIDENCE

Chemistry Centre (fmr) comprises the Materials Science Building, a single storey brick and corrugated fibrocement former government chemical laboratory constructed in 1952 to a 1940s Public Works Department plan as a late rendition of the Inter-War Functionalist style emulating Dutch architect W.M. Dudok, and the site of a more extensive laboratory and office complex constructed from 1942 to 1984 and now being demolished.

The first Western Australian Government Analyst, Mr E.A. Mann, was appointed in 1896, stationed in Fremantle, and served in the role until 1922. Prior to this, analytical services within government were primarily in assaying. By 1904, Mann had become Government Analyst, Agricultural Chemist and Chief Inspector of Explosives and the following year his staff had grown to eight analysts. The laboratory in Fremantle was too small so, in 1906, operations transferred to a building in Wellington Street, Perth, on the site of the present Royal Perth Hospital boiler house. The 1906 Annual Report contains the first reference to the laboratory of the Government Analyst being known as the 'Government Chemical Laboratory'.¹

The work of the Laboratory continued to increase. A 1922 reorganisation saw the laboratory of Government Analyst and Agricultural Chemist amalgamated with the laboratory of the Government Mineralogist and Dr E.S. Simpson, who had started in the Mines Department in 1897, became the Government Mineralogist, Analyst and Agricultural Chemist, a role he held until 1939. Three sections were formed in the combined laboratory – Toxicology, Foods and Drugs; Mineralogy, Mineral Technology and Geochemistry; and Agriculture, Water Supply and Sewerage.²

Despite 1922 additions, by the end of the 1930s the Wellington Street location had become a serious impediment to the work of the Laboratory, being small and unsuitable, especially because adjacent hospital machines constantly shook the building. The rattling damaged the fine instruments and equipment required in the operation of the Laboratory. Replacements were difficult and expensive to obtain due to escalating international tensions.³ In addition, the 1937 Stephenson Report had recommended construction of a new hospital building on the existing Wellington Street site.⁴

1 Government Chemical Laboratories, *Annual Report*, 1978, pp.5-8

2 Government Chemical Laboratories, *Annual Report*, 1978, pp.5-6

3 *Annual Report for the Chemical Branch, Mines Department, for the Year 1940*, p.1

4 G. Bolton, *History of Royal Perth Hospital*, UWA Press, Perth, 1982, pp.126-127

Harry Bowley was appointed Government Analyst in 1939 and immediately started planning for a new building.⁵ Bowley was a long-serving employee of the department, having commenced work in 1898 as a junior clerk in the Geological Survey Branch.⁶

During 1940, plans were prepared by Public Works Department for a new Laboratory. Government funds were earmarked to construct the building on unoccupied Government land with frontages to Hay Street, Plain Street and Adelaide Terrace, East Perth. Tests showed the site to be reasonably free from vibration. Ample land was also made available for future building requirements and necessary ground space.⁷ The new laboratory was established so that chemical works for all government departments could be carried out in one building complex.⁸

The location of the Chemical Laboratory site was Perth Town Lots T8, T9, and T10, land reserved during the nineteenth century for government use and previously largely undeveloped. There was a police station on the corner of Plain Street and Hay Street from at least the 1890s.⁹ From 1926, Police Stables were located towards the corner of Hay Street and Plain Street, with the surrounding land used to train police horses. The police stables were demolished for the construction of the Laboratories.¹⁰

Construction work for the new Chemical Laboratories began in 1940. The cost of the project was estimated at £31,000.¹¹ The foundation stone was laid on 2 September 1941, the building occupied from December 1942 and the official opening performed in November 1944, by which time the cost had increased to £42,000. The plans provided for a well-equipped and modern laboratory, with special attention being paid to minimizing health hazards, and improving working conditions in the laboratories by adopting a system of mechanical ventilation. To avoid fumes as much as possible, gas heating was discarded for electricity.¹² Despite the Government making funds available, fit-out was very limited, due to wartime restrictions, and no attempt was made to improve the grounds.¹³ The new building was a vast improvement on the former Wellington Street site, but the Director still asserted that it was not a modern laboratory because of its old and often outdated equipment.¹⁴ Serious shortages of scientific equipment continued for some years and were responsible for holding up important and urgent work.¹⁵

5 Government Chemical Laboratories, *Annual Report*, 1958, p.5

6 Government Chemical Laboratories, *Annual Report*, 1978, p.6

7 *Annual Report of the Chemical Branch, Mines Department*, 1940, p.1

8 *West Australian*, 18 November 1944, p.5

9 Post Office Directories 1893-1949

10 Post Office Directories 1893-1949; *West Australian*, 3 September 1941, p.6

11 *West Australian*, 3 September 1941, p.6

12 *Annual Reports of the Government Mineralogist and Analyst*, 1941&1942, p.1

13 *Annual Report of the Government Mineralogist, Analyst and Chemist*, 1941, 1942&1943, p.1; *West Australian*, 18 November 1944, p.5

14 *Annual Report of the Government Mineralogist, Analyst and Chemist*, 1943, p.1

15 *Annual Report of the Government Mineralogist, Analyst and Chemist*, 1944, p.1

Although the new laboratories were planned to give more space for expansion, work had increased so rapidly since the transfer from Wellington Street that additional chemists were appointed, so using all available working spaces. In 1945, the Director outlined the need to provide additional accommodation in the following areas: administration; stores for soil and mineral samples; a refectory large enough to seat all members of staff and with provision for the screening of scientific films; a conference room; female staff facilities; a new soil mineralogy laboratory block; a new metallurgy laboratory; a new fuel technology laboratory; and an industrial chemistry laboratory block.¹⁶

In 1947, with emphasis on post-war industrial development foremost, the Laboratories were reorganised into five subdivisions. An additional 651 square metres of space were added to the laboratories.¹⁷

In 1947, Bowley retired after 49 years working for the Department, and was replaced as Director by H.P. Rowledge.¹⁸

The Laboratories continued to be overcrowded, with the Industrial Chemistry Division particularly restricted by its lack of a designated building. Plans were drawn c.1947 for a new Industrial Chemistry Building, for the corner of Hay and Plain Streets, but these did not proceed at the time. The number of samples being processed by the laboratories was increasing exponentially and the lack of appropriate industrial chemistry facilities was reported to be limiting the industrial development of the State.¹⁹

In January 1952, tenders were called for the erection of an industrial chemistry building at the Chemical Laboratories, especially a 'unit process laboratory'. The proposed building was to be a brick and tile structure, 130ft long by 40ft wide (40x12m), consisting primarily of a single large room with a concrete floor, along with two smaller laboratories and an office.²⁰ It appears the building was completed by the end of the year, but it was some time before the relevant laboratory equipment was acquired and installed.²¹ The small laboratories became functional in August 1954, but installation of the large unit process plant, occupying the majority of the building space, was not completed until May 1956.²²

¹⁶ *Annual Report of the Government Mineralogist, Analyst and Chemist*, 1945, p.1

¹⁷ Government Chemical Laboratories, *Annual Report*, 1947, pp.1-2

¹⁸ Government Chemical Laboratories, *Annual Report*, 1947, pp.1-2

¹⁹ Palassis Architects, 'Chemistry Centre Perth: Conservation Plan', prepared for Hassell, 30 August 2010, pp.18-19

²⁰ *West Australian*, 31 January 1952, p.3, accessed at <http://trove.nla.gov.au/ndp/del/article/49013006> 8 April 2015.

²¹ *West Australian*, 3 September 1952, p.6, accessed at <http://trove.nla.gov.au/ndp/del/article/49050643> 8 April 2015.

Note: the building is not on a 1948 aerial photograph but is on an April 1953 sewerage plan (see images reproduced in Palassis Architects, 'Chemistry Centre Perth: Conservation Plan', prepared for Hassell, 30 August 2010, pp.19&21)

²² Palassis Architects, 'Chemistry Centre Perth: Conservation Plan', prepared for Hassell, 30 August 2010, p.19

The 1952 building was designed by the PWD under the guidance of the Principal Government Architect, A.E. (Paddy) Clare, as the 1940s buildings had been.²³ Clare was Principal Architect of the PWD from 1930 until 1960. Vin Davies, an architect with the PWD from 1946 until the establishment of the Building Management Authority, recalled in 1994 that:

Most importantly Clare was well informed on the changes occurring in architectural theory and design, including the Modern Movement, the landmark work of Frank Lloyd Wright, Walter Gropius, Le Corbusier, Mies Van Der Rohe and Willem Dudok. The younger pre-second World War architects, like W.L.Green, G.W. Finn, L.W. Walters, W. Leighton and a little later S.B. Cann and E. H. Van Mens, were also aware of and influenced by these trends.²⁴

The new building at the corner of Hay and Plain Streets was designed in a late rendition of the Interwar Functionalist style of architecture, strongly emulating the interwar period architectural work of internationally acclaimed Dutch architect Willem Dudok. Functionalist architecture was part of the Modernist movement, and advocated progress through science, technology, truth in art, and designing primarily to meet functional needs.²⁵ As such, Chemical Laboratories were an ideal subject for this architectural style and the resulting building was a characteristic Functionalist structure. By the post World War Two period, the Functionalist style was being applied with less detailing and more severe lines. It eventually fed into the Post World War Two International style, which is also evident in the design of sections of *Chemistry Centre (fmr)*.²⁶

Dudok's work had a profound influence on architecture around the world, and was particularly influential in Australia. Public Works Department architecture of the 1940s and 1950s was strongly influenced by Dudok. At least one PWD architect is known to have visited Hilversum, the town in Holland that was considered a showcase of Dudok's work and visited by many architects from around the world. The subsequent work of PWD architects Finn, Walters and Green shows evidence of the Dudok influence, and it is likely that one or more of these architects may have been involved in the design of *Chemistry Centre (fmr)*.²⁷

Rowledge continued as Director until his retirement in 1955. The range of work and number of staff continued to expand, pressuring the facilities.²⁸

23 *West Australian*, 18 November 1944, p.5

24 Davies, Vincent F.U. in Bronswijk, B. and Richards, D. (Eds.), *Creating the Public Realm: Public Architecture in Western Australia: 1890 – 2000*, Building Management Authority, Perth, 1994, p.6

25 Apperty, Richard; Irving, Robert and Reynolds, Peter *A Pictorial Guide to Identifying Australian Architecture: Styles and Terms from 1788 to the Present*, Angus & Robertson, North Ryde, 1989, p.184

26 John Stephens, Head of the Department of Architecture in the School of Architecture Construction and Planning, Curtin University, phone conversation with Clare Schulz, 28 July 2005

27 Simon Anderson, Senior Lecturer in Architecture, UWA, phone conversation with Clare Schulz, 3 August 2005

28 Government Chemical Laboratories, *Annual Report*, 1951, p.4

Although the Government Chemical Laboratories were a part of the Mines Department, the work undertaken was received from a wide variety of both government agencies and private interests, and applied to many fields. Much of the work of the Laboratories involved physical and chemical testing of samples submitted for various analyses. However, there was also an ongoing program of innovative research and development, which annual reports repeatedly lamented as being limited by staff shortages, cramped spaces, and the necessity of dealing expediently with more immediate requests. The Agricultural and Water Supply section of the Laboratory consistently received the majority of samples tested, in many years accounting for over half the samples processed. A significant amount of work was undertaken for the Department of Agriculture processing samples from the various government agricultural research stations. The results of this work influenced the development of agriculture in the State.²⁹ A particularly important aspect of the Laboratories' work in agricultural research was the identification of nutrient deficiencies in Western Australian soils, which enabled the development of highly efficient fertilizers.³⁰

Following Rowledge's retirement in 1955, J.C. Hood was the appointed Director, until his death in office in May 1957. Dr L.W. Samuel then became Director, continuing in this post until 1973. During the sixteen years that Dr Samuel was Director, there were several building extension programmes and increases in staff and functions, including a major building program on the East Perth site from 1962 to 1966 that approximately doubled the laboratory, library and refectory spaces. Some functions also moved off-site to Bentley or transferred to other departments.³¹

Increasingly the Laboratories were viewed as a source of technical knowledge on a wide range of issues. The breadth of work undertaken by the Laboratories was extensive, including: testing blood and urine samples of those accused of driving under the influence of alcohol; investigating the chemical and medicinal properties of plants; testing agricultural produce and soils for nutrient and chemical levels; monitoring the effects of pesticides and various aspects of air quality; providing tests to assist in criminal investigations (eventually becoming the forensic department in the 1980s); testing patient samples from the public health system; investigating appropriate floor coverings and metal coatings for different commercial and government situations; involvement with veterinary medicines; and, problem solving on request for industries.³² Much of the work undertaken by the Laboratories was in response to specific requests or enquiries, including developing new products to solve particular problems. Through the 1950s and into the 1960s, enquiries relating to plastics were especially prominent, as the material

29 Government Chemical Laboratories, *Annual Reports*, 1951-1965

30 Chemistry Centre website, 27 July 2005,
<http://www.doir.wa.gov.au/CCWA/72FD671D74C94B2794E1494E2EF9A5ED.asp>

31 Government Chemical Laboratories, *Annual Report*, 1960, p. 3 & 1962 pp.3-4, 1966 p.4

32 Government Chemical Laboratories, *Annual Reports*, 1951-1965, 1984-85

became more and more commonly used in both domestic and commercial situations.³³

Staff members also provided technical advice to numerous committees, including the Poisons Advisory Committee, Pesticide Advisory Committee, Fluoridation of Water Advisory Committee, a 1962 taskforce investigating whether Western Australia required 'Clean Air' legislation as in other States, and bodies approving new products for use in the State.³⁴

Initially it appears that a great deal of the Chemical Laboratories' work was undertaken for free. However, by the mid-1960s it was reported with some degree of frustration that significant amounts of staff time was being consumed with working on sponsored projects for private interests.³⁵ This included testing mineral samples submitted by mining corporations for verification of ore deposits.³⁶

The Government Chemical Laboratories were the major source of mineral testing and research work relating to mining, enabling the development of the mining industry in the State. The number of mineral samples being tested by the Laboratories boomed from the mid-1960s, as a result of the discovery of new mineral deposits, especially in the north west of the State.³⁷ Much of this work was undertaken by Engineering Chemistry division, which relocated to new Bentley premises during this period.³⁸

The expansion of mining in Western Australia from the 1950s to the 1970s dramatically influenced the development of the State. The value of the State's mineral production doubled in the 1950s, with the previous supremacy of the gold industry being challenged by the rapid discovery and expansion of the exploitation of other ore deposits.³⁹ In 1966, for the first time, iron ore surpassed gold as the greatest mineral extract, by value, in the State. In 1968-69, revenue from the mineral boom allowed the State for the first time since Federation to cease its annual draw on the Commonwealth Grants Commission.⁴⁰ Mining became the mainstay of the State's economy. In 1963-64, mining and quarrying accounted for 6.2% of production in Western Australia; by 1974-75, this had risen to 30.9%.⁴¹

33 Government Chemical Laboratories, *Annual Reports*, 1951-1965

34 Government Chemical Laboratories, *Annual Reports*, 1951-1965, 1984-85

35 Government Chemical Laboratories, *Annual Reports*, 1964 p.14

36 Government Chemical Laboratories, *Annual Reports*, 1951-1965

37 Government Chemical Laboratories, *Annual Reports*, 1951-1965, esp. 1951 p.12; 1958 p.25; 1965 p.34

38 Email from Richard Hartley, on HCWA file P1612, and Government Chemical Laboratories, *Annual Reports*, 1960s

39 K. Spillman, *A Rich Endowment: Government and Mining in Western Australia 1829-1994*, Nedlands WA, UWA Press for the Department of Minerals and Energy in association with the Centre for Western Australian History, p.191

40 K. Spillman, *A Rich Endowment: Government and Mining in Western Australia 1829-1994*, Nedlands WA, UWA Press for the Department of Minerals and Energy in association with the Centre for Western Australian History, p.195

41 K. Spillman, *A Rich Endowment: Government and Mining in Western Australia 1829-1994*, Nedlands WA, UWA Press for the Department of Minerals and Energy in association with the Centre for Western Australian History, pp. 197-198

With Dr Samuel's retirement in 1973, R.C. Gorman became the Director of the Laboratories.

A fire in January 1972 severely damaged the central 1942 buildings. The Laboratories managed to continue operations through the subsequent year of rebuilding, by crowding staff and loaned equipment into the unaffected buildings, including the 1952 building.⁴²

In 1975, long-term planning with respect to the Plain Street site and the future of building on the site commenced.⁴³ By 1976, there was a particular need to provide air-conditioning for staff as well as instruments, to make hot summer conditions more bearable.⁴⁴ However, it was February 1982 before Stage 1 of the air-conditioning fit-out was operational.⁴⁵

In 1984, buildings at the southwest corner of the site were demolished for the construction of Mineral House II. A 'temporary' administration, store and library building was erected abutting the east side of the Materials Science Building to house functions dislocated in the demolition.⁴⁶

After several reviews, and concerns at environmental problems associated with the operation of a chemical laboratory in the City, especially fumes, the Government announced in 1986 that the Laboratories were to remain a single consolidated unit as part of the Department of Mines. Following the Government's decision, plans were made regarding a new site for the Laboratories on land adjacent to Curtin University in Bentley. The vision for the future was of the construction of new laboratories at Bentley in association with a Mineral Research Centre.⁴⁷

The following year, the Government Chemical Laboratories, renamed the Chemistry Centre, was restructured. It now comprised the following laboratories: Agricultural Chemistry, Environmental Chemistry, Forensic Science, Health Chemistry, Kalgoorlie Metallurgical, Mineral Processing and Mineral Science.⁴⁸

By 1990-91, further modifications to the *Chemistry Centre (fmr)* buildings were made to improve safety and occupational health conditions. A proposal for a staged building program for the transfer of the Mineral Processing Laboratory and Hay Street facilities to Bentley was put to the Government for funding in 1991-92.⁴⁹ Subsequently, no major additions or changes were made at the Hay Street site, in anticipation of relocation to Bentley.⁵⁰

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- 42 Government Chemical Laboratories, *Annual Report*, 1972, pp.4-6
43 Government Chemical Laboratories, *Annual Report*, 1975, p.4
44 Government Chemical Laboratories, *Annual Report*, 1976, pp.3-4
45 Government Chemical Laboratories, *Annual Report*, 1981, p.3
46 Government Chemical Laboratories, *Annual Report*, 1985, p.4
47 Government Chemical Laboratories, *Annual Reports*, 1984-1987
48 Chemistry Centre, *Annual Review*, 1987-88, p.4
49 Chemistry Centre, *Annual Review*, 1990-91 p.4
50 Chemistry Centre, *Annual Review*, 1991-92 pp.3-4

In January 1994, the State Government announced that the Chemistry Centre would be 'commercialized' from 1 July 1994.⁵¹

The following year, the restructure of the Chemistry Centre resulted in a number of changes. The Centre moved to a new phase of operation as an independent commercial unit in the Department of Minerals and Energy. The introduction of inter-agency charging and competitive tendering for scientific services previously provided resulted in other significant changes within the Centre as some work was transferred to the private sector.⁵² As the reduction in the role and function of the Chemistry Centre continued, Government client agencies reduced requirements for scientific services and staff numbers declined. During this time, it was proposed that the existing Chemistry Centre buildings be replaced by new facilities, as their site required for the State Government's 'City Gateway Project'.⁵³

During 2000-2001, the Chemistry Centre became part of the portfolio of the Minister for State Development and then a Division of the newly created Department of Mineral and Petroleum Resources.⁵⁴

Chemistry Centre (fmr) has been used by architectural lecturers as an excellent example of Functionalist design style from the 1940s, demonstrating the transition from 1930s Art Deco influenced Functionalism to more streamlined and severe Post World War Two adaptations of Functionalism. It is also used to illustrate the way that the style of an architect in one part of the world, in this case Dudok, is transported and adapted to completely different contexts and remains identifiable as having been influenced by the original architect or design school. Units in architectural history, design and technical aspects make reference to the place as being a finely designed building and the strongest remaining example in the State of its style.⁵⁵ It had been thought that the building was part of the original 1942 construction on site.⁵⁶

In 2007, *Chemistry Centre (fmr)* became the autonomous 'WA Chemistry Centre', using the trading name 'ChemCentre', after the passing of the *Chemistry Centre (WA) Act, 2007*. The Act established the ChemCentre as a statutory authority.⁵⁷

From 2009 into 2010 the agency gradually relocated operations to the newly constructed Resources and Chemistry Precinct on site at Curtin University, Bentley. Scientific equipment was either relocated or disposed of.⁵⁸

51 Chemistry Centre, *Annual Review*, 1993-94, pp.5-6

52 Chemistry Centre, *Annual Review*, 1994-95, pp.4-5

53 Chemistry Centre, *Annual Review*, 1996-97, p.4; Chemistry Centre, *Annual Review*, 1997-98, p.4

54 Chemistry Centre, *Annual Review*, 2000-2001, p.1

55 Simon Anderson, phone conversation with Clare Schulz, 3 August 2005; John Stephens, phone conversation with Clare Schulz, 28 July 2005

56 SHO place files for P10612

57 SHO place files for P10612

58 Chemistry Centre website, 12 November 2009, <http://www.chemcentre.wa.gov.au/>; Palassis Architects, 'Chemistry Centre Perth: Conservation Plan', prepared for Hassell, 30 August 2010, p.iii

Despite the development of other laboratories and research institutions, both in government departments, at universities and through private initiatives, *Chemistry Centre (fmr)* continued into the 2000s to provide a wide range of scientific research and support services in the fields of forensic, organic, inorganic, residue, environmental, agricultural, soil, mineral, synthetic and regulatory chemistries. It remained the 'premier analytical chemistry facility' in the State until the agency relocated to Bentley. The 1952 building was used as the Materials Science Building until it was vacated.⁵⁹

A heritage assessment for *Chemistry Centre (fmr)* was completed in 2002 and consultation ensued over many years regarding potentially entering the site into the State Register of Heritage Places and conserving at least the iconic 1952 building on the corner of Hay and Plain Streets. A conservation plan was completed by Palassis Architects in 2010. A draft archival record for buildings on site was completed by TPG in September 2011.⁶⁰

In 2015, the original large site was subdivided and plans were approved for the demolition of most buildings on site. At the same time, plans were made to conserve and reuse the 1952 Materials Science Building, on the newly created Lot 101, as part of a new predominantly residential development on the site. The site is now referred to as 'ChemLabs'.⁶¹

In April 2015, the site is managed by the Metropolitan Redevelopment Authority. A contract for demolition of the majority of the place, site remediation and urgent conservation works to the Materials Science Building has been awarded and these works are expected to be completed by mid-2015.⁶²

13.2 PHYSICAL EVIDENCE

Chemistry Centre (fmr) comprises the Materials Science Building, a single storey brick and corrugated fibrocement government chemical laboratory constructed in 1952 in a late rendition of the Inter-War Functionalist style (emulating W.M. Dudok), and the site of a more extensive laboratory and office complex constructed from 1942 to 1984 and now being demolished.

The place formerly comprised part of a street block fronted by Hay Street, Plain Street and Adelaide Terrace on the north, west and south sides respectively. Mineral House, a Late-Twentieth Century International Style office tower, occupies approximately one quarter of the land area at the corner of Adelaide Terrace and Plain Street. Mineral House and the other buildings and site south of Lot 101 are not included in this assessment.

The setting comprises Queens Gardens, a park, opposite and northeast of the place on Hay Street. Diagonally opposite on the corner of Hay and Plain Streets is a small unfenced park. The mid-rise Department of Housing Building is opposite on Plain Street. East of the site is recent mid-rise residential development. South and immediately east of the Materials Science

⁵⁹ Chemistry Centre website, 27 July 2005, <http://www.doir.wa.gov.au/CCWA/index.asp>

⁶⁰ SHO place files for P10612

⁶¹ SHO place files for P10612

⁶² SHO place files for P10612

Building is the site of the laboratory and administration buildings of the former Chemical Laboratories, which is in the process of demolition and redevelopment.

The Materials Science Building is designed in the Interwar Functionalist Style, with parapets and cubiform overall forms used together with some materials contemporary with the early post war period. It is also reminiscent of the Post World War Two International style. It includes a mezzanine which gives the impression externally that it is a two-storey building, while the remainder of the laboratory buildings on site were single-storey. The remainder of the Chemical Laboratory buildings on site were in a vernacular Interwar style, except for some less-sophisticated Interwar Functionalist elements to the Adelaide Terrace façade. The more recent blockwork iron roofed single storey eastern wing of the Materials Science Building is being removed as part of current development works.

The Materials Science Building is constructed of an overlaid asymmetrical composition of rectangular blocks using salmon brick parapet walls with cement coping. The composition is given horizontal emphasis by a band of low steel framed windows along Hay Street while this emphasis is balanced by vertical rectangular blocks (including a chimney) at the Plain Street corner. The only non-rectilinear features on this block are three porthole windows on the Plain Street facade. The rectangular forms are connected to ground on Plain Street by low planters and retaining walls.

The roof is a low-pitch hipped gable of corrugated fibrocement sheeting that has been identified as containing asbestos. The roof is entirely hidden behind brick parapets.

The Materials Science Building is fitted out in the manner of a warehouse with concrete floors, exposed steel roof trusses and unpainted walls. Some sections of this block have been partitioned with stud-framed structures. There are no ceilings and silver insulative roof lining is evident. The concrete floor has a slight gradient to permit drainage and a channel is cut through the slab, with a pressed metal cover in place. Internal fixtures and fittings relating to the building's original function remain, including simple light fittings and shades, copper pipework, exhaust ducting and steel railings.⁶³

The buildings are in fair to good condition, with structural elements generally in better condition than detailing, and exterior elements overall in better condition than the interior.⁶⁴

13.3 COMPARATIVE INFORMATION

The Materials Science Building is constructed in a Dudok-inspired late rendition of the Interwar Functionalist style. It is a late example of the style, and also shows influences of the emerging Post World War Two International style.

⁶³ TPG, 'Chemistry Centre: Materials Science Building – Conservation Works Schedule', May 2014, pp.8-11, on SHO file P10612 vol.3

⁶⁴ TPG, 'Chemistry Centre: Materials Science Building – Conservation Works Schedule', May 2014, pp.5-8, on SHO file P10612 vol.3

There are 36 places entered in the State Register⁶⁵ which are noted as having been designed in the Interwar Functionalist style. The majority are halls, hotels, cinemas or residences, which express the style in a more decorative manner. However, there are three hospitals (Lake Grace, Graylands and King Edward), one school (John Curtin), a research station (Salmon Gums) and an electricity substation (Fremantle) that display some similarities to *Chemistry Centre (fmr)* as large, functional buildings with minimal decorative treatment.

An additional 18 places are entered in the State Register which have been noted as being designed in the Post World War Two International style. Those with some similarities include:

- P14911 *ABC Sound Broadcasting and Television Studios, Perth* (1960)
- P15426 *Narrogin Regional Hospital* (various stages from 1934)
- P04559 *Graham Flats*
- P02450 *Perth Modern School* (post-war additions)
- P15744 *John Curtin College of the Arts* (post-war sections)

The place strongly emulates W.M. Dudok's architectural style. Unlike other similar PWD designs of the 1940s such as Senior Technical School, Leederville, (designed 1944 and which shares the emphasis on mass composition and materials) there is no Art Deco ornament. A larger building with a similar aesthetic is Nurses' Quarters building (1946) for King Edward Memorial Hospital designed by G.W.Finn of the PWD (noted in the style guide as being a Post War International style building⁶⁶). Examples of Dudock-inspired buildings in other States include Adelaide High School (designed by E. Fitzgerald & J. Brogan in the 1940s), Sydney and Newcastle Technical Colleges (designed by Harry Rembert) and Tip Top Bakery, East Brunswick Victoria (1948, recently adapted for apartments). However, no other Western Australian building so closely emulates the personal architectural style of Dudok, as does the *Materials Science Building* of the *Chemistry Centre (fmr)*.

Willem Marinus Dudok (1884-1974) was appointed architect to the town of Hilversum near Amsterdam from 1916. He developed his own distinct style and employed it in many schools and other public buildings. The climax of his style can be seen in the Hilversum Town Hall of 1928-30, internationally one of the most influential buildings of its date. The *Materials Science Building* of *Chemistry Centre (fmr)* can be broadly compared compositionally to his Hilversum Town Hall but more particularly to his Catharina van Rennes school also in Hilversum, despite this being a two-storey building. Each of these buildings employs asymmetrical composition of rectangular blocks, including a tower, in light coloured exposed brick with concrete eyebrow awnings over long bands of low windows.

⁶⁵ State Heritage Office database search, 8 April 2015

⁶⁶ Apperly, Richard; Irving, Robert and Reynolds, Peter *A Pictorial Guide to Identifying Australian Architecture: Styles and Terms from 1788 to the Present*, Angus & Robertson, North Ryde, 1989, p.216

In considering the similarities of the Materials Science Building to Dudok's work, one also must consider what was formerly the Laboratories' principal entrance, on Adelaide Terrace. The Adelaide Terrace Wing was cut short by the later development of Mineral House, the development of which removed its western wing and main entrance. The Adelaide Terrace wing subsequently read as a single linear block with almost complete horizontal emphasis. This was not as originally designed. The original design comprised a composition of strong horizontal emphasis with an off-centre vertical mass balancing the composition (though with less sophistication than that of the Materials Science Building) and giving emphasis to the main entrance. The design even used many of the details of Dudok's work including the Faience tile cladding of the short window piers, which was the cladding also used to line the now-demolished entrance portal. The design was later extended at both ends and then reduced by demolition of much of the western wing. In contrast, the complex massing of the Materials Science Building has been retained as a single composition without extension of additional masses or diminution. The Materials Science Building is rare for its strong emulation of W.M. Dudok's architectural style within a Western Australian context. This similarity does not extend to the essentially warehouse-like interior but is principally related to the exterior form, material and detail.

The State Heritage Office database includes seventeen other places noted as having laboratories, five of which are entered in the State Register:

- P01273 Chamber of Mines Building, Kalgoorlie
- P05566 Avondale Research Station
- P06839 Gascoyne Research Station
- P16599 Salmon Gums Research Station, P16601 Frank Wise Institute of Tropical Agriculture.

The latter four places are agricultural research stations, as are the majority of the other places noted as having laboratories in the State Heritage Office database, and are not directly comparable. Chemistry Centre (fmr) handled much of the testing of samples from these research stations. P01273 Chamber of Mines Building, Kalgoorlie was constructed in 1903, and became a branch of the Chemistry Centre (fmr).

Although other laboratories were built, Chemistry Centre (fmr) was the central chemical laboratory of the State Government from 1942 to 2009. Although private industry, educational institutions and some government departments have also developed laboratories to take over some of the work previously undertaken by the Chemistry Centre (fmr), Chemistry Centre (fmr) is unusual for the wide variety of work it handled during its period of operation.

As a mid-twentieth century State Government chemical laboratory, the place is rare. As well as being rare as an emulation of Willem Dudok's work in particular, the place can be seen to be more generally representative of the early influence of the international Modern Movement in art and architecture on mid-twentieth century Western Australian public works.

13. 4 KEY REFERENCES

Management Services Branch: Corporate Development Division, Department of Mines, *Chemistry Centre History of Accommodation 1906-1989*, Perth, 1989. Copy held with Chemistry Centre Western Australia.

13. 5 FURTHER RESEARCH



HERITAGE COUNCIL
STATE HERITAGE OFFICE


HCWA CURTILAGE MAP P10612-A CHEMISTRY CENTRE, PERTH

MAP 1 OF 2 PREPARED BY BERNHARD KLINGSEISEN (SENIOR LAND INFORMATION OFFICER) 19/03/2015



Legend

 Curtilage

 0 150 300 600 900 Meters

GDA 1994 MGA Zone 50

Aerial Image Mosaic, Cadastral and Road Datasets © Western Australian Land Information Authority trading as Landgate (2015)



HERITAGE COUNCIL
STATE HERITAGE OFFICE

HCWA CURTILAGE MAP P10612-A CHEMISTRY CENTRE, PERTH

MAP 2 OF 2 PREPARED BY BERNHARD KLINGSEISEN (SENIOR LAND INFORMATION OFFICER) 19/03/2015

393700

393800

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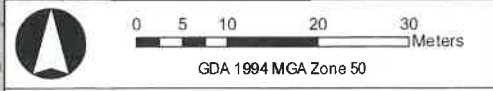
6463400

6463400



Legend

- Curtilage
- Cadastre



Aerial Image Mosaic, Cadastral and Road Datasets © Western Australian Land Information Authority trading as Landgate (2015)

393700

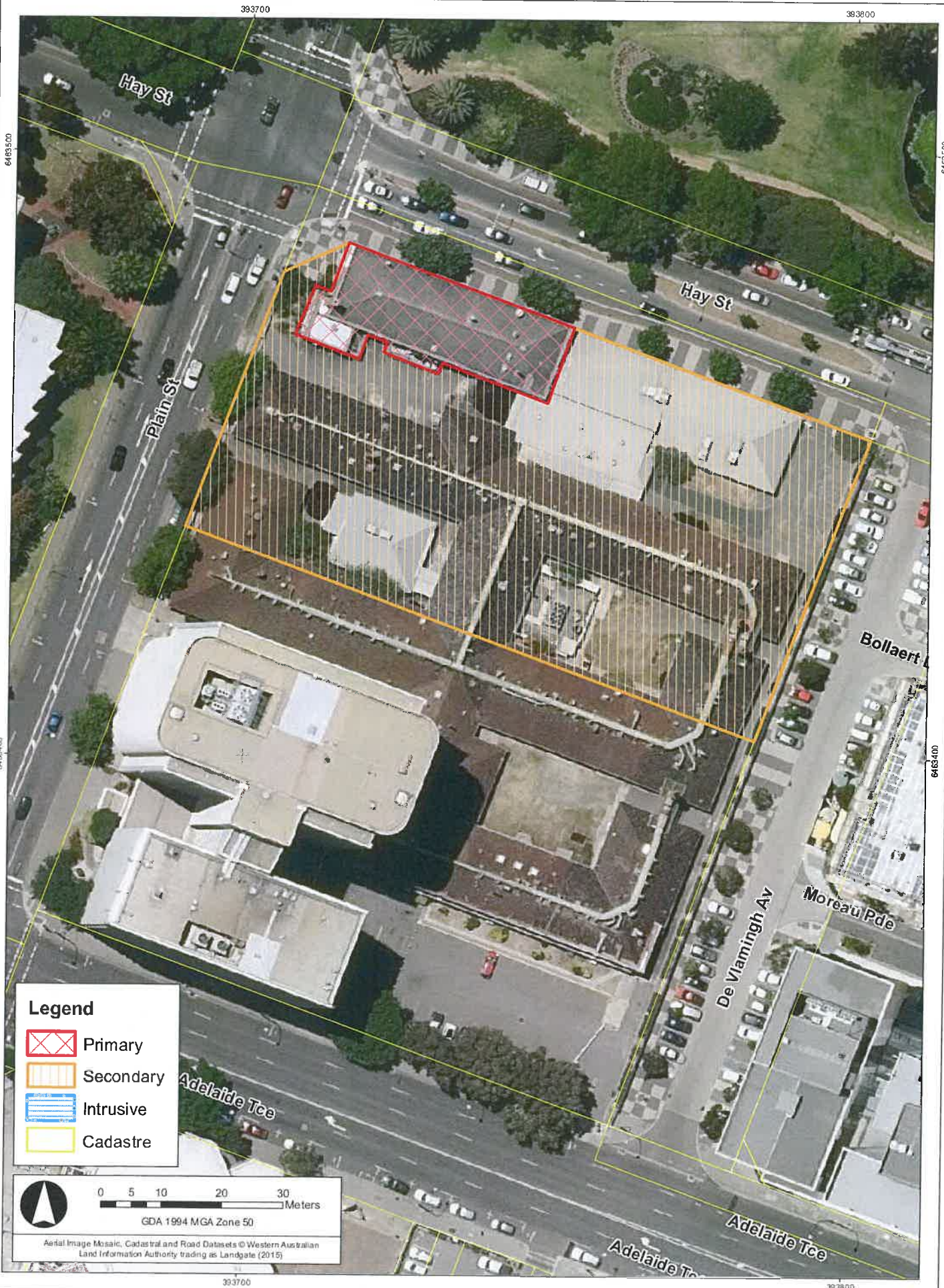
393800







HERITAGE COUNCIL
STATE HERITAGE OFFICE

HCWA ZONES OF SIGNIFICANCE P10612-A CHEMISTRY CENTRE, PERTH

PREPARED BY BERNHARD KLINGSEISEN (SENIOR LAND INFORMATION OFFICER) 19/03/2015



Legend

-  Primary
-  Secondary
-  Intrusive
-  Cadastre

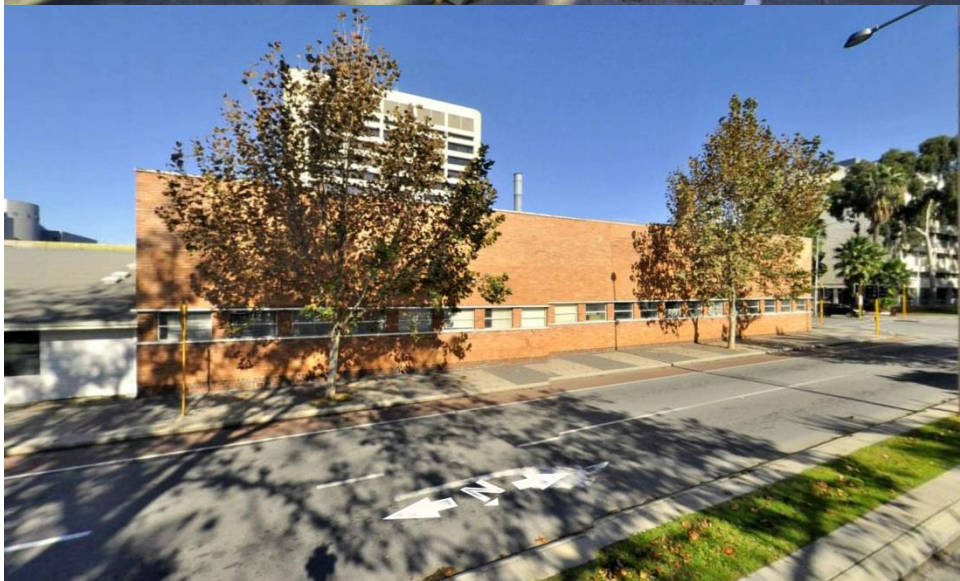


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GDA 1994 MGA Zone 50

Aerial Image Mosaic, Cadastrol and Road Databases © Western Australian Land Information Authority trading as Landgate (2015)

Chemistry Centre



ITEM NO: 6

CITY SIGNATORY TO COMPACT OF MAYORS AND TO THE WESTERN AUSTRALIAN LOCAL GOVERNMENT ASSOCIATION'S DECLARATION ON CLIMATE CHANGE

RECOMMENDATION:

(APPROVAL)

That Council:

- 1. approves the City of Perth becoming a signatory to the Compact of Mayors and authorises the Lord Mayor to sign a Letter of Commitment;***
- 2. authorises the City of Perth to share publicly the City's draft greenhouse gas emissions targets to reduce operational emissions by at least 30% by 2031 (2011/12 baseline) and reduce city-wide emissions by at least 30% by 2031 (2031 business as usual baseline);***
- 3. approves the City of Perth becoming a signatory to the Western Australian Local Government Association Declaration on Climate Change and authorises the Lord Mayor to sign the Declaration;***
- 4. notes the City's commitment to mitigation and adaption activities that assist in responding to climate change in its Policies 8.0 and 8.5 and its commitment under the Calgary Climate Change Accord; and***
- 5. notes that the detailed financial implications of resourcing the City's commitments will be developed as part of the finalisation of the Draft Environment Strategy 2015-2031.***

BACKGROUND:

FILE REFERENCE: P1013010-6; P1031607; P1012540-28
REPORTING UNIT: Environment and Public Health
RESPONSIBLE DIRECTORATE: Planning and Development
DATE: 12 August 2015
MAP / SCHEDULE: Schedule 6 – WALGA Declaration on Climate Change

In 2009 the World Energy Cities Partnership (WECP) recognised the unique position member cities have to support and lead on becoming energy resilient and reducing global greenhouse gas (GHG) emissions.

At its meeting held on **25 August 2009** Council approved “the Lord Mayor signing, on behalf of the City of Perth, the WECP Climate Change Accord at the WECP Annual General Meeting in Calgary, Canada in October 2009.” The Accord called on signatory Cities to develop policies, plans and operations that reduce the GHG emissions generated by their activities and to pursue parallel GHG reduction strategies for their communities. The commitments made were voluntary commitments, not statutorily binding.

In signing the Accord the City of Perth committed to working towards the targets of reducing GHG emissions by 20% by 2020 and 80% by 2050. As a WECP city that had not yet established a baseline year for GHG emissions targets, the City of Perth committed to establishing a baseline year and establishing new GHG emissions reduction targets.

At its meeting held on **5 August 2014** Council approved Policy 8.5 Towards an Energy Resilient City and endorsed the *Towards an Energy Resilient City Strategic Directions Paper*. This Paper outlined the City’s strategic direction to work with stakeholders to reduce GHG emissions and develop energy resilience across central Perth. It detailed the City’s evidence basis for GHG emissions reduction targets, and established the following baseline years:

1. City of Perth operational baseline of the 2011/12 financial year emissions; and
2. City-wide baseline of the 2031 modelled business as usual emissions, estimated using a 2006 emissions inventory.

At its meeting held on **17 March 2015** Council approved Policy 8.0 Environment Policy. The Policy establishes the City’s commitment to achieve continual environmental improvement, to prevent, minimise, and manage environmental impacts, create and maintain a resilient, diverse and attractive environment, and to ensure the Perth environment evokes pride, connection and a sense of place with its community.

In June 2015 the City of Perth participated in the Carbon Disclosure Project’s CDP Cities climate change mitigation and adaptation reporting platform for the first time. The City of Perth’s CDP Cities report privately shared the information contained within the Energy Resilient City Strategic Directions Paper, Environment Policy, and Energy Resilient City Policy.

At its meeting held on **21 July 2015** Council approved the release of the Draft Environment Strategy 2015-2031 for public comment. The Draft Environment Strategy proposes a strategic direction and long term vision for the environment as an informing strategy within the City’s Integrated Planning Framework. It proposes targets, aspirations, objectives, and strategies for delivery for the next 15 years to work towards the City’s commitment to be an environmentally sustainable city, including revised draft GHG emissions reduction targets to:

1. Reduce City of Perth operational GHG emissions by at least 30% by 2031 from a 2011/12 financial year baseline; and
2. Work with the community to reduce city-wide GHG emissions by at least 30% by 2031 from a 2031 modelled business as usual emissions, estimated using a 2006 emissions inventory.

LEGISLATION / STRATEGIC PLAN / POLICY:

Legislation *Local Government Act 1995*

Integrated Planning and Reporting Framework Implications

Corporate Business Plan
Council Four Year Priorities: Living in Perth
S11 Increase community awareness of environmentally sustainable ways of living
11.2 Develop the Environmental Strategy and Implementation Plan

Strategic Community Plan
Council Four Year Priorities: Community Outcome
Living in Perth
The City is a place where a diverse range of people choose to live for a unique sustainable urban lifestyle and access to government and private services.

Policy

Policy No and Name: 8.0 – Environment Policy
8.5 – Towards an Energy Resilient City Policy

DETAILS:

The City of Perth has been invited to showcase its leadership in addressing climate change by participating in an international climate change leadership initiative and a regional climate change declaration:

1. The international *Compact of Mayors* platform; and
2. The regional Western Australian Local Government Association (WALGA) *Local Government Declaration on Climate Change*.

Compact of Mayors

The Compact of Mayors is a global coalition of mayors and city officials committing to reduce local greenhouse gas emissions, enhance resilience to climate change and track their progress publicly. It is an opportunity to bring attention to, and quantify, city action and leadership in addressing climate change. The Compact aims to achieve recognition of city action as the global community works towards a climate agreement at the UNFCCC's 21st Conference of the Parties talks in Paris in December 2015.

The Compact collects the climate action data that cities are already reporting through global programs and initiatives, for example CDP Cities, of which the City of Perth is a participant. The Compact standardises measurement and reporting, and makes the information available to the public.

The City of Perth was invited to participate in the Compact of Mayors by Michael R. Bloomberg, former Mayor of New York City and the UN Secretary-General's Special Envoy for Cities and Climate Change. To date, 97 cities, representing 183,112,013 people worldwide and 2.5% of the total global population, have committed to the Compact of Mayors.

Commitments of the Compact of Mayors

Signing the commitment to the Compact of Mayors commits the City to the following timelines to achieve compliance with the Compact.

STEP	TIMELINE	COMMITMENT
1. Register Commitment	Initiation	<p>Sign a letter of commitment registering the City's intent to join the Compact of Mayors and committing the City to:</p> <ul style="list-style-type: none"> • Reduce local GHG emissions. • Measure community emissions inventory. • Set targets for the future. • Develop climate action plans to deliver on city targets. • Identify climate hazards and assess vulnerabilities. • Develop climate adaptation plans and address the impacts of climate change.
2. Take Inventory	Year 1	<ol style="list-style-type: none"> 1. Build and complete a community-wide greenhouse gas emissions inventory using the Greenhouse Gas Protocol for Cities (GPC) Standard (reporting stationary energy and in boundary travel in year one and including waste emissions in year two). 2. Identify climate change hazards. 3. Report emissions and climate hazards inventories publicly via CDP Cities.

STEP	TIMELINE	COMMITMENT
3. Set Targets	Year 2	<ol style="list-style-type: none">1. Set greenhouse gas emissions reduction target.2. Assess climate change vulnerability using Compact of Mayors guidance.3. Report emissions reduction target and climate change vulnerability assessment publicly via CDP Cities.
4. Plan	Year 3	<ol style="list-style-type: none">1. Develop climate change action plans to address climate mitigation and adaptation.2. Publicly report action plans via CDP Cities.

Benefits of participating in the Compact of Mayors

- Enable the City of Perth to publicly showcase its actions and leadership in addressing climate change on a global stage.
- Achieve recognition of the City's innovative and impactful action already underway including the greenhouse gas emissions reduction targets.
- Participation in a global platform to demonstrate the City's commitment to be part of the global solution.
- Enable City of Perth to compare its actions with other cities through consistent, standardised reporting.
- Assist in the development of implementation actions for the City of Perth Environment Strategy Implementation Plan (currently in development).
- Increased investor confidence and capital flows into the City.
- Mechanism for national governments to recognise and resource local commitments.

WALGA Local Government Declaration on Climate Change

WALGA has developed the Local Government Declaration on Climate Change (the Declaration) as part of a suite of tools and services to assist the local government sector in addressing climate change. The Declaration is a voluntary opportunity for Local Governments to demonstrate their political commitment to locally appropriate climate change management, and to participate in a sector wide leadership approach.

The City of Perth was invited to become a signatory to the Declaration by WALGA Chief Executive Officer, Ricky Burgess. To date 33 Local Governments across Western Australia have signed the Declaration. WALGA provides the wording of the Climate Change Declaration with the ability for each local government to amend where appropriate. The Declaration is included in Schedule 6.

The Declaration includes acknowledgement of the evidence and impacts of climate change. It also includes support for the environmental, social and economic benefits of addressing climate change. It includes recognition of the opportunity for Local Government to demonstrate leadership, and support for the development of equitable and implementable State and Commonwealth strategies for climate change management.

Commitments of the Local Government Declaration on Climate Change

Signing the Declaration commits the City of Perth to:

1. Set an appropriate, individual Local Government emissions reduction target and work toward its achievement.
2. Work with State and Federal Government to ensure achievement of greenhouse gas emissions reduction targets as set out in key National and International agreements.
3. Work with State and Federal Government to implement key actions and activities for climate change management at a local level.
4. Assess the regionally specific risks associated with climate change and implications for Local Government services, and identify areas where appropriate mitigation and/or adaptation strategies should be applied.
5. Develop an internal climate change action plan across all Local Government functions.
6. Ensure that, at appropriate review intervals, the strategic plan and policies for the Local Government are reviewed and amended to reflect climate change management priorities and emissions reduction targets.
7. Encourage and empower the local community and local businesses to adapt to the impacts of climate change and to reduce their greenhouse gas emissions.
8. Monitor the progress of climate change initiatives and ensure full communication of achievements for Council and Community.

Benefits of signing the Local Government Declaration on Climate Change

- Enable the City to publicly showcase its commitment to addressing climate change on a regional level.
- Show support for WALGA's policy and advocacy work on addressing climate change.
- Formally recognise the City's participation in regional leadership on addressing climate change.

Implications of Participation

The implications of participating in the Compact of Mayors and the WALGA Local Government Declaration on Climate Change include:

- Financial implications for projects that align with future work already endorsed by Council in the Draft Environment Strategy;
- Staff resourcing implications that can be accommodated within existing staffing budgets;

- Participation can assist with meeting the City's commitments made under the Calgary Climate Change Accord; and
- Participation can help fulfil the City's commitments made under Council Policies 8.0 Environment Policy and 8.5 Towards an Energy Resilient City Policy.

FINANCIAL IMPLICATIONS:

The City of Perth has invested financial resources into climate change mitigation and adaptation activities and initiatives in previous financial years.

In the 2015/16 Financial Year, the City of Perth has budgeted:

- a) \$70,000 to the development of environmental monitoring tools including monitoring greenhouse gas emission inventories;
- b) \$80,000 to education and engagement initiatives under the CitySwitch Green Office Program;
- c) \$38,600 to other environmental sustainability education and engagement initiatives under the Switch Your Thinking! Program; and
- d) \$20,000 to Environment Strategy implementation actions including development of climate change action plans.

Further detailed financial and resourcing implications will be identified through the development of a Four Year Implementation Plan for the Draft Environment Strategy 2015-2031. This will be developed after community consultation on the Draft Environment Strategy has closed on 26 August 2015. Examples of possible future projects to achieve the commitments within the Compact of Mayors' three year time frame could include:

- a) A climate change vulnerability assessment at an estimated future budget cost of \$60,000-\$120,000; and
- b) Development of a climate change adaptation plan at an estimated future budget cost of \$60,000-\$120,000.

All projects and costs that will be developed in the Implementation Plan are subject to the City's budget decisions. The total cost of resourcing the commitments of the Compact of Mayors and the Local Government Declaration on Climate Change can vary dependent upon the City's priorities and availability of funds.

Committing to these two initiatives gives the City greater structure and a stronger evidence base for its climate change adaptation and mitigation activities. This affords the City a stronger platform to create projects that could attract Federal Government funding under the Emissions Reduction Fund in line with the Commonwealth Government's climate change adaptation and mitigation policy platform.

COMMENTS:

Through existing activities and initiatives the City of Perth has committed to achieving the requirements of the Compact of Mayors and the WALGA Local Government Declaration on Climate Change. These existing activities and initiatives demonstrate

that the City of Perth is already making progress towards mitigation and adaptation activities that assist in responding to climate change.

Committing to the Compact of Mayors and the Declaration can also be a vehicle to leverage and add value to previous work undertaken by the City. Becoming a signatory to these two initiatives can help to refine the agenda and direction within the City's past commitment under the 2009 Calgary Climate Change Accord with a renewed commitment and a stronger evidence base.

Existing activities and initiatives that demonstrate the City's commitment and progress to date towards the requirements of the Compact of Mayors and the Declaration are outlined in the table below.

Compact of Mayors Commitments	WALGA Declaration commitments	Existing City activities and initiatives	Future work commitments within Draft Environment Strategy
1. Register (now): Letter of Commitment to reduce emissions, set targets, and develop an action plan.	Sign the Local Government Declaration on Climate Change.	Commitments within the: <ul style="list-style-type: none"> • Environment Policy (8.0) • Towards an Energy Resilient City Policy (8.5). 	
2. Take Inventory (Year 1): Measure city-wide greenhouse gas emissions and understand climate hazards and report publicly.	Assess regionally-specific risks associated with climate change. Monitor the progress of climate change initiatives.	Towards an Energy Resilient City baseline inventory of 2006 emissions completed. Some climate risk assessment undertaken. CDP Cities non-public reporting completed in 2015.	Update inventory. Update understanding of climate change risks. Complete CDP Cities public reporting from 2016.
3. Set Targets (Year 2): Set emissions reduction targets, assess climate vulnerability, and report publicly.	Set an emissions reduction target. Ensure that climate change priorities are reflected in strategic plans and policies.	Proposed emission reduction targets in Draft Environment Strategy: 30% emissions reduction by 2031.	Finalise target. Align Council policies and strategies. Assess climate vulnerability.

Compact of Mayors Commitments	WALGA Declaration commitments	Existing City activities and initiatives	Future work commitments within Draft Environment Strategy
<p>4. Action Plan (Year 3): Develop climate change action plans to address climate mitigation and adaptation.</p>	<p>Develop an internal climate change action plan and work with State and Federal Governments.</p> <p>Encourage and empower the local community.</p>	<p>Draft Environment Strategy and Energy Resilient City strategic directions developed.</p> <p>Emission reduction and community education initiatives as detailed in the Environment Snapshot 2015.</p>	<p>Finalise Environment Strategy Implementation Plan.</p> <p>Develop and implement climate change action plan.</p>

It is proposed that the City of Perth signs up to the Compact of Mayors and the WALGA Local Government Declaration on Climate Change as this aligns with the City's current leadership and commitment to mitigation and adaption activities that assist in responding to climate change.



The Western Australian Local Government Declaration on Climate Change

City of Perth acknowledges that:

- Evidence shows that climate change is occurring.
- Climate change will continue to have significant effects on the Western Australian environment, society and economy, and the Local Government sector.
- Human behaviours, pollution and consumption patterns have both immediate and future impacts on the climate and environment.

City of Perth supports the:

- Environmental, social and economic benefits of addressing climate change immediately.
- Opportunity for Local Government to demonstrate leadership in climate change management at a community level.
- Development of equitable and implementable State and Commonwealth strategies for climate change management.

City of Perth commits from date of signing to:

- Set an appropriate, individual Local Government emissions reduction target and work toward its achievement.
- Work with State and Federal Government to ensure achievement of greenhouse gas emissions reduction targets as set out in key National and International agreements.
- Work with State and Federal Government to implement key actions and activities for climate change management at a local level.

- Assess the regionally specific risks associated with climate change and implications for Local Government services, and identify areas where appropriate mitigation and/or adaptation strategies should be applied.
- Develop an internal climate change action plan across all Local Government functions.
- Ensure that, at appropriate review intervals, the strategic plan and policies for the Local Government are reviewed and amended to reflect climate change management priorities and emissions reduction targets.
- Encourage and empower the local community and local businesses to adapt to the impacts of climate change and to reduce their greenhouse gas emissions.
- Monitor the progress of climate change initiatives and ensure full communication of achievements for Council and Community.

Signed:

The Right Honourable the Lord Mayor – City of Perth

Date:

Signed:

President - Western Australian Local Government Association

Date:

ITEM NO: 7

MATCHED FUNDING BUSINESS GRANTS 2015/16

RECOMMENDATION:

(APPROVAL)

That Council:

- 1. *approves the distribution of six Matched Funding Business Grants totalling \$85,000 as follows:***
 - 1.1 *\$20,000 to X Large for capital investment costs associated with the establishment of a small bar in Nicks Lane at the rear of 87 James Street, Northbridge;***
 - 1.2 *\$15,000 to Kafka Coffee to contribute to the establishment of a new café, including façade changes at 3/62 Fitzgerald Street, Northbridge;***
 - 1.3 *\$14,000 to Café Studio to contribute towards café set up costs at 138 Barrack Street, Perth;***
 - 1.4 *\$12,000 to My Place Bar and Restaurant for exterior upgrades to 70 Pier Street, Perth;***
 - 1.5 *\$12,000 to Eillo to contribute towards store fit out and laneway alfresco revitalisation at 218A William Street, Northbridge;***
 - 1.6 *\$12,000 to Urban Bowl for alfresco upgrades at 55 St Georges Terrace, Exchange Plaza, Perth;***
- 2. *approves \$20,000 to Young Love Mess Hall to complete façade upgrades at 175 William Street, as approved in 2014-15;***

(Cont'd)

3. declines the following grant applications on the basis that the applications were not eligible for assessment in Policy 6.19 - Matched Funding Grants:

- 3.1 \$20,000 to Chicho Gelato for store fit out;**
- 3.2 \$10,000 to Your Colours, located in Bon Marche Arcade Barrack Street, Perth for shop renovations;**
- 3.3 \$20,000 to The Little Ferry Company for ferry equipment and accessories and intranet developments;**
- 3.4 \$20,000 to Henry Saw located at 117 Barrack Street, Perth for building costs including a façade mural and universal access compliance costs;**
- 3.5 \$15,000 to Anthony Rechichi- Architect, located at 146-150 Murray Street, Perth for internal refurbishments;**
- 3.6 \$20,000 to Makmal Capital Pty Ltd, owner of 100 Murray Street, Perth for ground floor activation;**
- 3.7 \$20,000 to Frisk, located at 103 Francis Street, Northbridge for streetscape upgrades;**

4. declines the grant application from Le Vietnam located at Bon Marche Arcade on the basis that the business did not provide sufficient information for assessment.

BACKGROUND:

FILE REFERENCE:	P1031674
REPORTING UNIT:	Planning and Development
RESPONSIBLE DIRECTORATE:	Planning and Development
DATE:	17 August 2015
MAP / SCHEDULE:	Confidential Schedule 7 – Summary Table of Applications Confidential Schedule 8 – Detailed Application Assessments and Matrix

A total of \$596,450 in funding has been approved to city based businesses since Policy 6.19 – Matched Funding Business Grants was adopted by Council in 2009.

In the 2014/15 funding round, Matched Funding Business Grants were awarded to six projects with a total funding allocation of \$114,000. At the time of application, the 2014/15 Matched Funding Business Grants were estimated to contribute over \$423,000 to city- based private sector investment.

Of the 2014/15 awarded grants, the following projects were fully completed and acquitted:

- Whipper Snapper Distillery; purchase and installation of warehouse air conditioners;
- The Dominion League; façade refurbishment;
- Studio Sixty4; establishment and fit out of a laneway tattoo studio; and
- Pop Up Management; vacant upper floor activation.

Grant recipients including Whipper Snapper Distillery and The Dominion League have received positive media coverage on their business projects. Media coverage such as this generates encouraging public relations for the grants program and reflects positively on the City. Additionally, the grants have proved to be an effective tool to attract or accelerate business projects that align closely with the City's strategic objectives.

The Matched Funding Business Grants program has seen the Economic Development Unit continue to establish strong relationships with local businesses that are dedicated to having a continued presence in the city. The value of the grants program is demonstrated by these long-term relationships.

LEGISLATION / STRATEGIC PLAN / POLICY:

Legislation Section 2.7(2)(b) of the *Local Government Act 1995*

Integrated Planning and Reporting Framework Implications **Corporate Business Plan**
Council Four Year Priorities: Perth as a Capital City
S5 *Increased place activation and use of under-utilised space*
S6 *Maintain a strong profile and reputation for Perth as a city that is attractive for investment*
S7 *Collaborate with private sector to leverage city enhancements*

Strategic Community Plan
Council Four Year Priorities: Community Outcome
Perth as a Capital City
The City is recognised internationally as a city on the move and for its liveability talented people, centres of excellence and business opportunities.

Policy

Policy No and Name: 6.19 – Matched Funding Business Grants

DETAILS:

Objectives

Policy 6.19 – Matched Funding Business Grants aims to support business projects that contribute towards the City's economic development objectives and encourage inner city commerce. These grants contribute to the city's vibrant business community by supporting and rewarding local business establishment and expansion projects, knowledge generation, creativity and entrepreneurial activities that improve city vitality and appeal.

The objectives of Policy 6.19 – Matched Funding Business Grants are to:

1. Support effective implementation of the City's Economic Development Strategy.
2. Encourage and promote diverse business projects that improve Perth's competitive advantage and provide direct benefits to the community.
3. Activate underutilised areas of the city.
4. Support local businesses that demonstrate strong market potential and a sound business model.
5. Build, attract and retain a wide range of innovative businesses from key industries in the city.
6. Provide aesthetic improvements to the private realm to improve the streetscape and the overall desirability of the locality for commerce.

Promotion

The availability of the City's Matched Funding Business Grants was promoted through the following promotional channels:

- the City's website under its 'Business' and 'News' section;
- the City's Facebook, Twitter and LinkedIn social media;
- the City's Northbridge Business Trader e-newsletter; and
- direct liaison with business owners.

Social media promotion included six tweets about the grants program, three Facebook posts with more than 240 likes, comments and shares and two LinkedIn posts.

Application and Assessment Process

The City accepted applications for a three week period between Monday, 13 July 2015 and Friday, 31 July 2015.

Fourteen applications were received in total. Applications that met the eligibility criteria were assessed against the criteria and objectives of Policy 6.19. Eight applications were determined to not meet eligibility requirements.

Six applications met the eligibility criteria and objectives of the program and are recommended for approval as detailed below.

The City engaged an internal panel to assess each eligible application. Officers from the Economic Development Unit made up the panel and officer positions included A/Principal Officer, Tourism Officer and an Assistant Administration and Project Officer.

Business engagement was undertaken by a separate Economic Development Officer while the application period was open. This ensures all panel assessments are undertaken independently of business engagement and contact.

Applications recommended for Approval

X- Large

X-Large is a proposed small bar to be operated by the owners of Connections Nightclub, a late night club venue that has been operating in Northbridge for decades.

The business project shows strong market potential and the business owners have demonstrated success operating in the Perth market.

X-Large will have a positive impact in the activation of Nick's Lane, a key pedestrian connection between Roe and James Streets in Northbridge.

Grant funding is sought for building project costs to establish the small bar and upgrade the interface with Nick's Lane.

Kafka Coffee

Kafka Coffee is a proposed café and coffee shop located at 3/62 Fitzgerald Street, Northbridge. Nude Design Studio will share the same studio space as Kafka Coffee.

This concept coffee shop will focus on locally designed and produced products and create a meeting hub for the local design community, including and extending to music and art.

Activation of the north-western edge of the city will increase amenity and vibrancy to this area. Market research undertaken indicates strong market potential in the area, with local residents, workers and the Perth Police Complex and Quest short term apartments within 100m of the café.

Grant funding is sought for the internal fit-out and setup of the cafe space within the greater studio space and necessary changes to the facade, windows and doors at the cafe.

Café Studio

Cafe Studio is a project that will revitalise a small area of 30m² next to the Adina Apartment Hotel at 138 Barrack Street, Perth. Vacant for the past four years, Café Studio will transform a small area into a functional café catering to a broad range of customers frequenting Barrack Street.

Café Studio presents a unique opportunity for hospitality training in the CBD. Café Studio will operate as a professional learning facility for hospitality students and apprentices from business partners Stanley College and Hansen's Gourmet Catering.

Funding is sought to contribute to the capital investment costs associated with the establishment of a functioning café.

My Place Bar and Restaurant

My Place Bar and Restaurant is located at 70 Pier Street, Perth and is currently undergoing an extensive refit, rebrand and upgrade process.

This familiar city establishment at the east end of the CBD is popular with city workers and as a destination frequented by visitors staying at nearby hotels. The proposed project will increase activation at the east end of the CBD.

A design concept has been drafted for implementation and is supported by the freehold landlord. There is a shift in focus that the business is trying to achieve, from a pub/tavern to an Australian modern brasserie lounge.

Grant funding is sought for renovation to the alfresco areas, and upgrade of the streetscape and façade.

Ollie and Sons- Eillo

Ollie and Sons already has premises in Northbridge and is seeking to open into a second store at 218A William Street Northbridge. This retail store, Eillo, will operate with a point of difference, including an espresso bar in store.

The core business for Ollie and Sons and Ellio is fashion and streetwear for the 18 – 30 year old demographic with an offering of local and international streetwear labels. Ollie and Sons develops its own lines and maintains a significant focus on local designers.

218A William Street opens onto Lock Lane and positive activation of laneways has in recent years contributed to increased vibrancy in Northbridge.

Grant funding is sought to fit out the new William Street store and revitalise the existing alfresco areas. There is a 20 metre square alfresco area off the laneway adjacent to the Alex Hotel which will be renovated.

Urban Bowl

Urban Bowl is a popular café restaurant located on the ground floor of Exchange Plaza at 55 St George's Terrace, Perth.

The restaurant has an ability to comfortably seat 60 patrons but the current design of alfresco seating is severely exposed to the weather and elements.

Urban Bowl plans to develop an urban garden and enhance its outdoor seating options offered to customers. This project will create a much more attractive space for customers dining all year round and provide protection from the elements.

Young Love Mess Hall

Young Love Mess Hall was awarded a Matched Funding Business Grant in 2014/15 for façade upgrades to their business at 175 William Street Northbridge. The grant was awarded for restoration and upgrade of the building façade.

Due to building compliance requirements linked to the heritage status of the building, the approvals process took longer than the business anticipated. Works commenced in June 2015 but were not completed in time for the grant funding to be acquitted in the 2014/15 financial year.

A decision was made to carry over the award of grant funding into the 2015/16 financial year for the grant applicant.

As completion for works is imminent, and the upgrade will deliver long term refurbishment to an otherwise run down and unattractive building, funding of \$20,000 has been allocated to finalise this grant.

FINANCIAL IMPLICATIONS:

ACCOUNT NO:	43972000
BUDGET ITEM:	Economic Services - Other Economic Services – Economic Development
BUDGET PAGE NUMBER:	66
BUDGETED AMOUNT:	\$2,945,828, (This component is \$210,000 EDU Business Support Portfolio)
AMOUNT SPENT TO DATE:	\$ 96,443
PROPOSED COST:	\$ 105,000
BALANCE:	\$2,744,385
ANNUAL MAINTENANCE:	N/A
ESTIMATED WHOLE OF LIFE COST:	N/A

All figures quoted in this report are exclusive of GST.

COMMENTS:

Aligning strongly with policy objectives outlined in Policy 6.19 Matched Funding Business Grants, seven applications are recommended for approval of grant funding in 2015-16.

The seven applications recommended for approval align closely with the City's strategic goals and vision, and with the desired outcomes of the City's Economic Development Strategy. The range of projects for approval includes business establishment and expansion, façade upgrades, streetscape and alfresco enhancements and laneway activation.

The City will liaise with the successful businesses to agree on payment schedules and timeframes that suit the needs of each business project and minimise the City's financial risk. All grant and matched funding must be spent and claimed by 30 June 2016, and each business must provide photographs of the project undertaken using grant funding, along with a short testimonial that will be used for promotional purposes.

In total, it is recommended that Council approve \$105,000 in Matched Funding Business Grants for the 2015/16 financial year. The total value of these business projects represents over \$503,000 of immediate direct investment that will contribute to the ongoing resilience and diversity of the City's economy.

CONFIDENTIAL SCHEDULE 7
ITEM 7 – MATCHED FUNDING BUSINESS GRANTS
2015/16

FOR THE PLANNING COMMITTEE MEETING

25 AUGUST 2015

DISTRIBUTED TO ELECTED MEMBERS UNDER
SEPARATE COVER

CONFIDENTIAL SCHEDULE 8
ITEM 7 – MATCHED FUNDING BUSINESS GRANTS
2015/16

FOR THE PLANNING COMMITTEE MEETING

25 AUGUST 2015

DISTRIBUTED TO ELECTED MEMBERS UNDER
SEPARATE COVER

ITEM NO: 8

PROPOSED COUNCIL POLICY – STATE REGISTER OF HERITAGE PLACES

RECOMMENDATION:

(APPROVAL)

That Council adopts the Council Policy – State Register of Heritage Places as detailed in Schedule 9

BACKGROUND:

FILE REFERENCE: P1003213
REPORTING UNIT: Strategic Planning
RESPONSIBLE DIRECTORATE: Planning and Development
DATE: 5 August 2015
MAP / SCHEDULE: Schedule 9 – Council Policy – State Register of Heritage Places

In accordance with the *Heritage of Western Australia Act 1990* (the Act) the State Heritage Office (SHO), on behalf of the Heritage Council of Western Australia (HCWA), established and maintains the State Register of Heritage Places (State Register). The State Register is a statutory list of places in Western Australia of cultural heritage significance to the State.

The SHO reviews assessment documentation and makes recommendations to the Minister for Heritage of places deemed to have State level cultural heritage significance. Part of this process includes consultation with local governments. Whilst Council provides advice to the SHO on the proposed registration, it is not the final decision maker. This rests with the Minister for Heritage.

There is currently no Council Policy to guide the provision of the City's advice on Interim and Permanent Registration of places onto the State Register. The process operates under Council's decision made on **29 January 2008** which requires all nominations for properties to be included in the State Register to be referred to Council for consideration. This has resulted in 13 reports being presented to Council since 2012, comprising 9 interim and 4 permanent registration proposals.

This current practice means that both stages of the State heritage registration process are separately reported to Council, resulting in the registration proposal for one place being reported to Council twice. Whilst in some instances there are no changes to the proposal between interim and permanent registration, the matter is still reported to Council for it to provide advice to the State Heritage Office.

The City has recognised an opportunity to create a more efficient approach by enabling the City to reiterate Council's previous advice on interim registrations when permanent registration is proposed.

Under the proposed Council Policy (Schedule 9), Council will continue to consider interim registrations however it will not have to repeat the action at the permanent registration stage unless heritage value has changed in a way that would affect Council's previous decision.

The proposed Council Policy determines authority for the provision of advice to the SHO in relation to both interim and permanent registrations. It formalises and refines the Council's approach to SHO nominations by applying appropriate governance to ensure that more efficient and transparent practise is adopted.

LEGISLATION / STRATEGIC PLAN / POLICY:

Legislation	<i>Heritage of Western Australia Act 1990</i>	
Integrated Planning and Reporting Framework	Corporate Business Plan	
Implications	S9	Promote and facilitate CBD living
	9.2	Review the City's approach to Conservation of Heritage Places.

DETAILS:

Heritage Act of Western Australia 1990 (the Act)

Section 7 of the *Heritage of Western Australia Act 1990* requires the HCWA to establish and maintain the State Heritage Register. Places are added to the State Register by the HCWA on the direction of the Minister for Heritage.

At the direction of the HCWA, the SHO assesses a place in accordance with a criteria defined by the Act, which considers the aesthetic, historic, scientific and social significance of a place for the present and future generations of the State of Western Australia.

As part of this process, the Act (Section 23(4) and (5)) requires the relevant local government to be notified about the proposed registration.

If the HCWA decides that the place has State cultural heritage significance it advises the Minister for Heritage accordingly. In advising the Minister, the Act requires HCWA to consider submissions made by the relevant local government.

Under Section 11 of the Act, interim registration has the same effect in law as Permanent Registration. The difference is that an Interim Registration can be removed from the Register at the Minister's discretion, whereas a permanent registration can be removed only with the consent of Parliament.

Interim registration of non-state-owned land (private) is valid for one year (Section 53 of the Act) unless an extension is agreed to by the owners under Section 53(2). Interim registration of state-owned land is valid indefinitely. Most places in private ownership proceed to permanent registration within four months.

New Council Policy

The primary objective of the new Council Policy (Schedule 9) is to determine authority for providing comment to the SHO on proposed interim and permanent State registrations.

The new Council Policy will formalise Council's resolution of **29 January 2008**. This is in accordance with sound governance and will ensure greater efficiencies in the work practices of both the City and Council.

Since 2012, Council has considered nine nominations for interim registration. Where Council did not support interim registration (one instance) or partially supported the interim registration (two instances) the SHO did not progress the assessment. Where Council supported interim registration (seven instances) the place has progressed to permanent registration or is still progressing.

Where a property has progressed to the permanent registration stage, the documentation presented to Council reflects that which was presented to Council at the interim registration stage. Where there have been changes, these were minor in nature and did not affect the Statement of Significance or assessment of cultural heritage significance. Rather, the changes related to the Documentary Evidence section which provides a historical context to support the assessment criteria.

Given the above, both the City and the Council are duplicating their resources surrounding this process.

To support a more efficient process, the new Council Policy will enable the City to relay the Council's previous advice on interim registration at the permanent registration stage.

Council will continue to consider all nominations for interim registration however it will not have to consider permanent registration unless the State Heritage Office has determined that the heritage value of a place has changed in a way that would affect the Council's previous decision.

Council will not consider permanent registration if it has previously supported interim registration and the SHO has determined that the heritage value has not changed or has increased. Equally, if the Council has previously not supported interim registration and the SHO has determined that the heritage value has not changed or has decreased, the Council's previous decision will be reiterated.

Furthermore, permanent registration proposals will be reported to Council for a decision only where:

- a. Council has previously supported interim registration but the SHO advises the heritage value has decreased;
- b. Council previously did not support the interim registration and the SHO advises that the heritage value has increased;
- c. there are possible risk implications for the City or the proposal is deemed to be contentious within the community.

FINANCIAL IMPLICATIONS:

The financial implications of this report relate to the officer time to prepare this report and the new Council Policy.

Should the new Policy be adopted by Council, City resources allocated to the preparation of reports to the Council, and Council's consideration of the reports, will be reduced by approximately 50%.

COMMENTS:

As a result of a Council decision of **29 January 2008**, Council currently considers all requests for advice on nominations for interim and permanent registration of places in the State Register.

The current practise of considering documentation at both the interim and permanent registration stage on separate occasions is not considered optimal.

The new Council Policy improves inefficiency by reducing the duplication of reports to Council where Council has already stated its position of support for the registration of a place.

COUNCIL POLICY X STATE REGISTER OF HERITAGE PLACES

PREAMBLE

The City of Perth supports the identification and protection of places of cultural heritage significance to the State of Western Australia.

POLICY OBJECTIVE

To determine authority for making submissions to the Heritage Council of Western Australia in relation to proposals to include places within the City of Perth boundary in the State Register of Heritage Places, as either an interim registration or on a permanent basis.

POLICY BACKGROUND

The Heritage Council of Western Australia maintains the State Register of Heritage Places, which is a statutory list of places that represent the story of Western Australia's history and development.

Places are entered in the State Register of Heritage Places after an assessment and registration process which includes extensive consultation with owners, local governments and other stakeholders.

Once the Heritage Council's Register Committee has resolved that a place is of cultural heritage significance, the State Heritage Office seeks written comment from the City on initial proposals to enter places in the State Register of Heritage Places (interim registration). Once interim registration has been published in the *Government Gazette*, the State Heritage Office invites the City to make comment on the proposed permanent registration.

POLICY STATEMENT

1. All requests from the State Heritage Office for comment on proposals to include places within the City of Perth boundary in the State Register of Heritage places must be referred to the Council if:
 - 1.1 Interim registration is proposed; or,
 - 1.2 Permanent registration is proposed and the interim registration has not been considered by the Council; or,
 - 1.3 The Council, by resolution, has previously supported the proposed interim registration and the State Heritage Office has determined that the associated heritage value of the place has been reduced; or,

COUNCIL POLICY X STATE REGISTER OF HERITAGE PLACES

- 1.4 The Perth City Council, by resolution, has previously not supported the proposed interim registration and the State Heritage Office has determined that the heritage value of the place has increased; or
 - 1.5 Where it is considered that there may be risk implications or the proposal is deemed to be contentious within the community.
2. Where (1) above does not apply then any previous determination of the Council in relation to a proposed State Heritage registration of a place remains valid advice of that determination and can be conveyed to the State Heritage Office without further consideration by the Council.

Document Control Box					
Document Responsibilities:					
Custodian:		Custodian Unit:			
Decision Maker:					
Compliance Requirements:					
Legislation:					
Industry:					
Organisational:					
Document Management:					
Risk Rating:		Review Frequency:		Next Due:	TRIM Ref: [AP####]
Version #	Decision Reference:	Synopsis:			
1.	ELG				
2.	ELG				
3.					